# LOWRY FARM JOHNNY APPLESEED **METROPOLITAN PARK DISTRICT IMPROVEMENTS PROJECT** AUGLAIZE TOWNSHIP, ALLEN COUNTY, OHIO ALLEN COUNTY PARCEL #48-2800-01-003.000

She	et Index
Sheet Number	Sheet Title
1	COVER SHEET
2	CT GENERAL NOTES
3	OVERALL SITE PLAN
4	EXISTING CONDITIONS PLAN
5	SITE LAYOUT PLAN
6	GRADING PLAN
7	PEDESTRIAN BRIDGE DETAILS
8	PEDESTRIAN BRIDGE DETAILS
9	MISCELLANEOUS DETAILS
10	SWPPP NOTES
11	SWPPP DETAILS
12	SWPPP PLAN



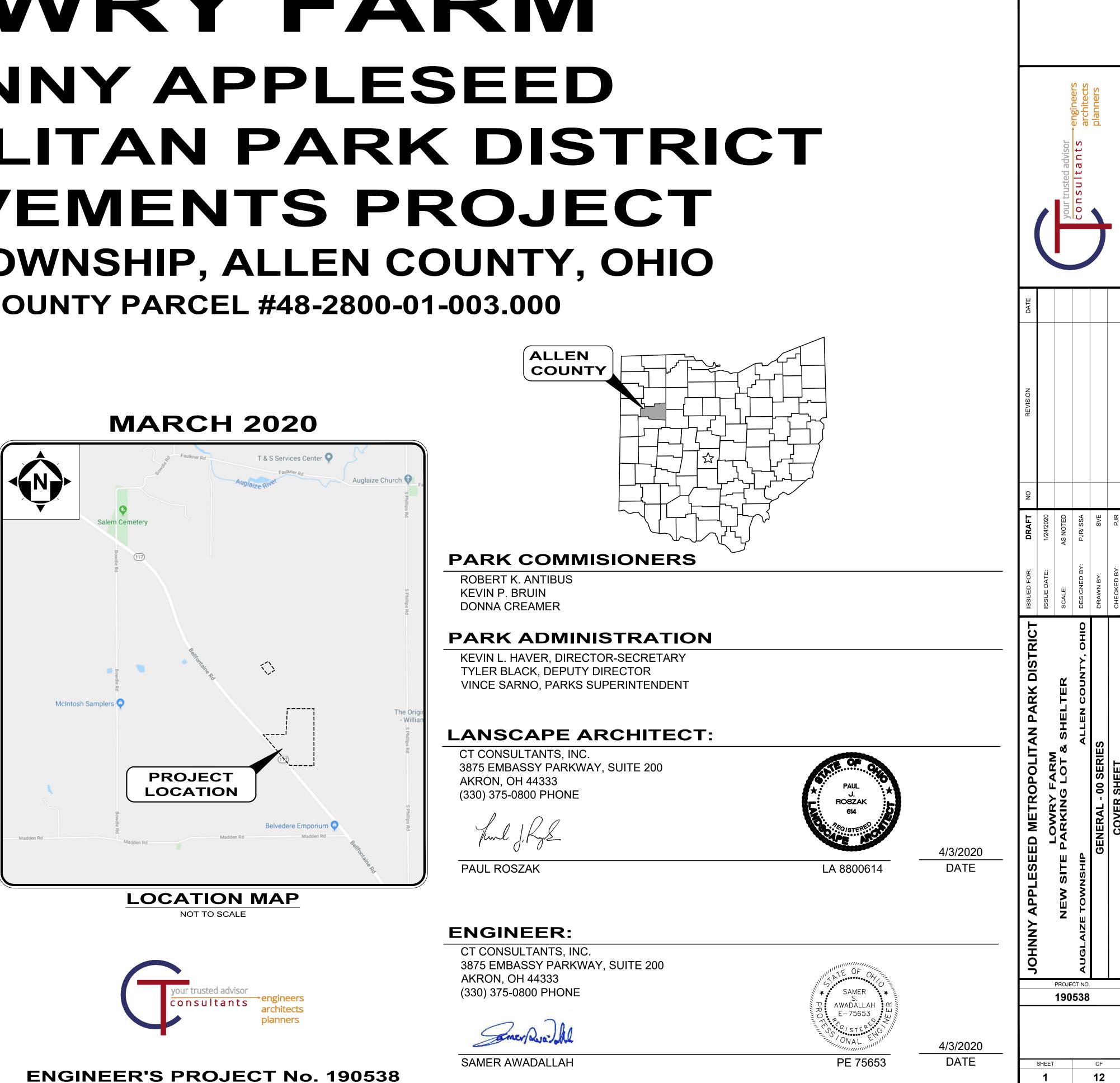
**OHIO 811 DESIGN SERIAL NUMBER:** 

#A936-402-180-00A

# **PARK ADMINISTRATION OFFICE**

2355 ADA ROAD LIMA, OH 45801 PHONE: 419-221-1232 jampd@jamped.com

C:\CT\CAD\ DRIVES\ H\2019\190538\DWG\SHEETS\G 190538 - COVER SHEET.DWG - 1 COVER SHEET - 4/8/2020 10:57:24 PM - SAMER AWADALLAF



# **GENERAL NOTES TITLE:**

### GENERAL NOTES:

- 1. THE CONTRACTOR MUST CONTACT OUPS (OHIO UTILITIES PROTECTION SERVICE) AT 800-362-2764 AND OGPUPS (OHIO OIL AND GAS ASSOCIATION) AT 800-925-0988 AT LEAST 48 HOURS, BUT NO MORE THAN 10 WORKING DAYS, BEFORE BEGINNING ANY DIGGING, EXCLUDING SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS. NON-MEMBER UTILITIES MUST BE CONTACTED DIRECTLY. IT IS THE CONTRACTOR RESPONSIBILITY TO BE FAMILIAR WITH THE REQUIREMENTS OF OUPS AND OGPUPS. THE CONTRACTOR SHALL COORDINATE THE MARKINGS AND/OR LOCATING TO STAY A MINIMUM OF 2 WORKING DAYS AHEAD OF PLANNED CONSTRUCTION ACTIVITIES.
- 2. ALL WORK REQUIRED TO COMPLETE THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE 2019 EDITION OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION (ODOT) CONSTRUCTION AND MATERIAL SPECIFICATIONS OR THE SPECIFICATIONS / REQUIREMENTS OF THE JURISDICTIONAL ENTITY, EXCEPT AS PROVIDED ON THESE CONSTRUCTION PLANS. WHERE CONFLICTS OCCUR IN THE ABOVE, THE NOTES AND DETAILS ON THESE CONSTRUCTION PLANS SHALL TAKE PRECEDENCE, UNLESS OTHERWISE DIRECTED BY THE DESIGN ENGINEER.
- 3. THERE SHALL BE NO DEVIATION FROM THE APPROVED CONSTRUCTION PLANS WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER OR DESIGN ENGINEER. ANY DEVIATION WITHOUT PRIOR WRITTEN APPROVAL SHALL BE AT THE CONTRACTOR'S RISK AND EXPENSE.
- 4. ALL WORK INCLUDING PERMIT AND INSPECTION FEES REQUIRED FOR REMOVAL, RELOCATION OR NEW WORK AS PART OF THESE CONSTRUCTION PLANS SHALL BE PERFORMED BY AND AT THE EXPENSE OF THE CONTRACTOR AND INCLUDED IN THE BID PRICES FOR THE VARIOUS WORK ITEMS, UNLESS DIRECTED IN WRITING BY THE OWNER. THE CONTRACTOR SHALL CONTACT, OBTAIN FROM AND PAY TO THE APPROPRIATE JURISDICTIONAL ENTITY OR UTILITY COMPANIES FOR PERMITS AND FEES REQUIRED TO PERFORM THE WORK PRIOR TO STARTING CONSTRUCTION WORK.
- BEFORE SUBMITTING A BID, THE BIDDER SHALL EXAMINE THESE CONSTRUCTION PLANS AND VIEW THE SITE TO BECOME FAMILIAR WITH ALL MATTERS WHICH MAY AFFECT PERFORMANCE AND COMPLETION OF THE WORK. QUANTITIES PROVIDED ARE ESTIMATED, AND THE BIDDER IS RESPONSIBLE FOR VERIFYING BID QUANTITIES PRIOR TO SUBMITTING A BID. IF DISCREPANCIES ARE DISCOVERED, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND DESIGN ENGINEER SO THE APPROPRIATE ADJUSTMENT OR CORRECTION MAY BE MADE. THE ACT OF SUBMITTING A BID SHALL MEAN THAT THE BIDDER HAS COMPLIED WITH ALL REQUIREMENTS OF THIS NOTE, AND THEREFORE NO CONCESSION WILL BE GRANTED BECAUSE OF CLAIM OF MISUNDERSTANDING OR LACK OF INFORMATION.
- 6. UNIT PRICES FOR THE VARIOUS ITEMS OF WORK WILL BE USED WHERE THE SCOPE OF WORK INDICATED IN THE CONSTRUCTION PLANS IS CHANGED. THEY SHALL BE APPLIED ONLY TO THE QUANTITIES INVOLVED IN THE CHANGE AND SHALL BE ADDED TO OR DEDUCTED FROM THE LUMP SUM TOTAL BID FOR THE CATEGORY OF THE WORK.
- 7. THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A TESTING AGENCY FOR ANY REQUIRED TESTING AND/OR INSPECTION.
- 8. WHEN SPECIFIED ON THE CONSTRUCTION PLANS OR IN THE SPECIFICATIONS, CONTINGENCY QUANTITIES SHALL BE PERFORMED ONLY UNDER WRITTEN DIRECTION OF THE OWNER OR DESIGN ENGINEER. THE CONTRACTOR SHALL NOT ORDER CONTINGENCY MATERIAL OR PERFORM CONTINGENCY WORK UNTIL DIRECTED. THE ACTUAL WORK LOCATION AND QUANTITIES FOR SUCH ITEMS SHALL BE DOCUMENTED BY THE CONTRACTOR
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION LAYOUT STAKING INCLUDING HORIZONTAL AND VERTICAL CONTROL. THESE CONSTRUCTION PLANS HAVE BEEN DEVELOPED FOR ELECTRONIC LAYOUT STAKING. ANY DISCREPANCIES DISCOVERED IN THE CONSTRUCTION PLAN INFORMATION, OR BETWEEN THE CONSTRUCTION PLAN AND ELECTRONIC DATA, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGN ENGINEER SO THE APPROPRIATE ADJUSTMENTS MAY BE MADE PRIOR TO THE START OF CONSTRUCTION OR THE CONTINUATION OF THE SAME. THE DESIGN ENGINEER MAKES NO REPRESENTATION REGARDING FITNESS FOR ANY PARTICULAR PURPOSE, OR SUITABILITY FOR USE WITH ANY SOFTWARE OR HARDWARE. DUE TO THE EASILY ALTERABLE NATURE OF ELECTRONIC DOCUMENTS, THROUGH EITHER UNINTENTIONAL OR INTENTIONAL MEANS, THE DESIGN ENGINEER DOES NOT MAKE ANY EXPRESS OR IMPLIED WARRANTY FOR THE ACCURACY OR COMPLETENESS OF THIS INFORMATION AND THEREFORE, ACCEPTS NO LIABILITY FOR THE COMPLETENESS, CORRECTNESS OR LEGIBILITY OF THE ELECTRONIC DATA. HARD COPIES (I.E., PRINTS, PAPER COPIES, ETC.) SHALL PREVAIL IN ANY DISPUTE OVER ACCURACY OR SUFFICIENCY OF ELECTRONIC DOCUMENTS.
- 10. ALL WORK ON PRIVATE PROPERTY AND WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO INSPECTION BY THE OWNER, AND JURISDICTIONAL ENTITIES. THE JURISDICTIONAL ENTITY OR OWNER RESERVES THE RIGHT TO HALT CONSTRUCTION ACTIVITY FOR NONCONFORMANCE OF CONSTRUCTION PLANS. SPECIFICATIONS OR OTHER APPLICABLE STANDARDS OR REGULATIONS.
- 11. ANY DEFECTS IN THE CONSTRUCTION, INCLUDING MATERIALS OR WORKMANSHIP, SHALL BE REPLACED OR CORRECTED BY THE CONTRACTOR BY REMOVAL AND REPLACEMENT OR OTHER APPROVED METHODS PRIOR TO ACCEPTANCE BY THE JURISDICTIONAL ENTITY OR OWNER WITH NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES OR OTHER FEATURES RESULTING FROM NON-CONFORMANCE WITH THE APPLICABLE STANDARDS OR THROUGH GENERAL NEGLIGENCE. FAILURE BY THE CONTRACTOR TO VERIFY AND/OR DETERMINE EXISTING INFORMATION WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ANY CHANGES NECESSARY TO COMPLETE THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION.
- 12. THE CONTRACTOR SHALL MAINTAIN A CURRENT SET OF CONSTRUCTION PLANS ON SITE AT ALL TIMES. ATTENTION IS DIRECTED TO THE FACT THE CONSTRUCTION PLANS MAY HAVE BEEN ALTERED IN SIZE DURING PRINTING OR REPRODUCTION, AND MUST BE CONSIDERED WHEN OBTAINING SCALED DATA FROM THE CONSTRUCTION PLANS.
- 13. THE CONTRACTOR SHALL SUBMIT A PLAN OF OPERATIONS FOR REVIEW AND APPROVAL BY THE OWNER THAT WILL INDICATE EQUIPMENT STAGING AREAS, STOCKPILE LOCATIONS, CONSTRUCTION TRAILERS AND SANITATION FACILITIES.
- 14. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES AND IS SOLELY RESPONSIBLE FOR DESIGN AND CONSTRUCTION OF STABLE, TEMPORARY EXCAVATIONS PER LOCAL, STATE AND FEDERAL REGULATIONS INCLUDING OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION). NEITHER THE OWNER OR DESIGN ENGINEER ASSUME RESPONSIBILITY FOR CONSTRUCTION SAFETY OR THE CONTRACTOR'S OR OTHER PARTIES' COMPLIANCE WITH SAFETY REGULATIONS; SUCH RESPONSIBILITY IS NOT BEING IMPLIED AND SHOULD NOT BE INFERRED.
- 15. APPROPRIATE BARRICADES, WARNING LIGHTS, SIGNS, FENCING, ETC. SHALL BE ERECTED AROUND THE CONSTRUCTION AREA DURING ALL NON-WORKING HOURS TO ALERT PERSONS OF THE POTENTIAL DANGER ASSOCIATED WITH THE AREA UNDER CONSTRUCTION AS WELL AS TO PREVENT ACCESS BY UNAUTHORIZED PERSONNEL TO THE CONSTRUCTION SITE. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE GENERAL PUBLIC AS WELL AS ALL CONSTRUCTION PERSONNEL.
- 16. THE CONTRACTOR SHALL NOTIFY LOCAL JURISDICTIONAL ENTITIES OF THE NATURE OF THE PROJECT A MINIMUM OF TEN (10) DAYS PRIOR TO THE START OF CONSTRUCTION, AS WELL AS A MINIMUM OF TEN (10) DAYS PRIOR TO ANY LANE RESTRICTIONS, CLOSURES AND DETOURS, AS REQUIRED.
- 17. THE CONTRACTOR SHALL STAY WITHIN THE DESIGNATED PROPERTY, EASEMENTS, RIGHT-OF-WAYS AND WORK AGREEMENTS PROVIDED FOR THE PROJECT AT ALL TIMES. NO MATERIAL SHALL BE STORED NOR ANY WORK PERFORMED OUTSIDE THE PROJECT LIMITS UNLESS OTHERWISE APPROVED IN WRITING.
- 18. ANY EXISTING FEATURE OR APPURTENANCE DISTURBED DURING CONSTRUCTION BUT NOT DESIGNATED FOR REMOVAL OR REPLACEMENT SHALL BE RESTORED BY THE CONTRACTOR WITHOUT ADDITIONAL COMPENSATION TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO DISTURBANCE AND TO THE SATISFACTION OF THE OWNER.
- 19. THE CONTRACTOR SHALL DESIGNATE A PERSON IN RESPONSIBLE CHARGE (SUPERVISOR) WITH A CELL PHONE AT THE CONSTRUCTION SITE DURING ALL CONSTRUCTION ACTIVITIES, INCLUDING SUBCONTRACTOR ACTIVITIES.
- 20. PRIOR TO THE RELEASE OF THE RETAINER OR CONSTRUCTION BOND BY THE OWNER, THE CONTRACTOR MUST COMPLETE THE OWNER'S PROJECT PUNCH LIST. ALL PUNCH LIST ITEMS SHALL BE COMPLETED WITHIN TWO (2) MONTHS OF THE PUNCH LIST ISSUANCE DATE OR AS DIRECTED IN WRITING FROM THE DESIGN ENGINEER
- 21. AS-BUILT INFORMATION IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE PERFORMED BY A REGISTERED SURVEYOR. AS-BUILT INFORMATION SHALL CONSIST OF POST-CONSTRUCTION FIELD SURVEY DATA OF LOCATIONS, LENGTHS, INVERTS, PIPE MATERIAL, STRUCTURE DIMENSIONS AND PERCENT GRADES FOR ALL UTILITY STRUCTURES. THE CONTRACTOR SHALL DOCUMENT IN WRITING ANY INFORMATION PERTAINING TO CONSTRUCTION THAT DEVIATED FROM THE CONSTRUCTION PLANS. AS-BUILT PLANS SHALL BE ON WHITE SHEETS THE SAME SIZE AS THE ORIGINAL CONSTRUCTION PLANS, WITH DIGITAL COPIES PROVIDED ON CD IN BOTH AUTOCAD AND PDF FORMATS. AS-DESIGNED INFORMATION SHALL BE SHOWN IN BLACK, WITH AS-BUILT INFORMATION SHOWN IN RED WITH THE AS-DESIGNED INFORMATION BEING STRUCK OUT WITH A SINGLE LINE. THE AS-BUILT LOCATION OF IMPROVEMENTS SHALL BE GRAPHICALLY SHOWN IN BOTH PLAN AND PROFILE VIEWS IN RED. THE CONTRACTOR SHALL PROVIDE AS-BUILTS TO THE OWNER AT THE COMPLETION OF THE PROJECT.

## EXISTING CONDITION AND SURVEY NOTES:

- 2. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE EXISTENCE AS WELL AS THE ACTUAL
- OWNER AND DESIGN ENGINEER.
- FOR GAS LINES.
- 6. THE PRIMARY UTILITIES LOCATED WITHIN THE PROJECT LIMITS ARE AS FOLLOWS:

# SANITARY

ALLEN COUNTY SANITARY ENGINEERING DEPARTMENT 3230 N. COLE STREET LIMA, OHIO, 45801 ATTN: WILLIAM L. HORVATH PH: (419) 996-4670

### STORM

ALLEN SOIL & WATER CONSERVATION DISTRICT 1601 E. 4TH STREET, SUITE B LIMA, OHIO 45804 ATTN: ALBERT SUNIGA PH: (419) 223-0040 X 3 E-MAIL: albert@allenswcd.com

# <u>WATER</u>

ALLEN COUNTY WATER DISTRICT 3230 N. COLE STREET LIMA, OHIO 45801 ATTN: KIMBERLY STILES PH: (419) 996-4679 E-MAIL: allenwaterdisrict@allencountyohio.com

## NATURAL GAS

BUCKEYE E PARTNERS, L.P. 1020 BUCKEYE ROAD LIMA, OHIO 45801 ATTN: BRANDON L. ERDMAN PH: (567) 204-5155 E-MAIL: berdman@buckeye.com

ATTN: BRANDON ALLEN PH: (216) 318-2124 E-MAIL: ballen@buckeye.com

ATTN: TROY ALLEN PH: (216) 318-2124 E-MAIL: tallen@buckeye.com

### <u>ELECTRIC</u>

MID-OHIO ENERGY COOPERATIVE 12010 W LIMA STREET KENTON, OHIO 43326 ATTN: TRACY DAUGHENBAUGH PH: (888) 363-6446 E-MAIL: tracyd@ohioenergy.com

### TELEPHONE AND CABLE

CENTURYLINK 701 N CABLE ROAD LIMA, OHIO 45805 PH: 1 (800) 283-4237

CERTIFICATION BY A REGISTERED SURVEYOR THEY HAVE BEEN RESTORED.

1. THE EXISTING UNDERGROUND UTILITIES SHOWN ON THESE CONSTRUCTION PLANS WERE OBTAINED FROM VARIOUS SOURCES INCLUDING, BUT NOT LIMITED TO, FIELD OBSERVATIONS (E.G. ABOVE GROUND FEATURES, FLAGGED OR PAINTED MARKED UNDERGROUND UTILITIES) AND RECORDS MADE AVAILABLE (E.G. ORIGINAL CONSTRUCTION PLANS, AS-BUILT DRAWINGS, DISTRIBUTION AND SERVICE MAPS, GIS DATABASES, AERIAL PHOTOGRAPHY) TO CREATE A COMPOSITE DRAWING OF EXISTING CONDITIONS. ALTHOUGH GRAPHICALLY SHOWN AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE, THERE IS NO GUARANTEE OR WARRANTY, EXPRESSED OR IMPLIED, OF THE COMPLETENESS, CORRECTNESS OR ACCURACY OF SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED.

LOCATION, ALIGNMENT, AND ELEVATIONS OF ALL EXISTING UTILITIES WITHIN AND ADJACENT TO THE GENERAL LIMITS OF THESE IMPROVEMENTS INCLUDING WATERLINES, SANITARY AND STORM SEWERS. GAS LINES, COMMUNICATION LINES/BANKS, ELECTRIC LINES, ETC. THIS MAY REQUIRE EXPLORATORY EXCAVATIONS TO BE PERFORMED BY THE CONTRACTOR FOR WHICH HE WILL NOT BE REIMBURSED. THE CONTRACTOR SHALL NOT ASSUME EXISTING UTILITIES WERE INSTALLED AT TYPICAL DEPTHS OR AT UNIFORM SLOPES, GRADES OR DEPTHS BETWEEN ACCESS POINTS (I.E. CATCH BASINS, MANHOLES). 3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXSITING SITE FEATURES PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER AND DESIGN ENGINEER IMMEDIATELY OF DISCREPANCIES.

4. THE CONTRACTOR SHALL CONFIRM OR LOCATE ALL UNDERGROUND UTILITIES WITHIN EXCAVATION LIMITS, WHETHER OR NOT SHOWN ON THE CONSTRUCTION PLANS OR FIELD MARKED BY OUPS, OGPUPS OR OTHER UTILITY MARKING SERVICE. THE CONTRACTOR SHALL DOCUMENT ANY UTILITY NOT SHOWN OR DIFFERING FROM THE CONSTRUCTION PLANS, AND PROVIDE THE INFORMATION TO THE OWNER SHOWING LOCATIONS WITH MEASUREMENTS TO REFERENCE POINTS. ANY RESULTING UTILITY CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE

5. ADHERE TO APPLICABLE GUIDELINES FOR CONSTRUCTION ACTIVITIES WITHIN OR NEAR RIGHT-OF-WAYS

### MAINTENANCE OF TRAFFIC NOTES:

- 1. THE WORK LIMITS SHOWN ON THE CONSTRUCTION PLANS ARE FOR PHYSICAL CONSTRUCTION ONLY. THE CONTRACTOR SHALL FURNISH, ERECT, MAINTAIN AND SUBSEQUENTLY REMOVE ALL TEMPORARY TRAFFIC CONTROL DEVICES INCLUDING SIGNS. SIGN SUPPORTS. CONES. BARRELS. LIGHTS. BARRICADES. FLAGS. FLAGMEN AND INCIDENTALS AS REQUIRED TO PERFORM THE REQUIRED WORK WHETHER INSIDE OR OUTSIDE THE WORK LIMITS IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (OMUTCD).
- 2. NO TEMPORARY TRAFFIC CONTROL DEVICES SHALL INTERFERE WITH OTHER EXISTING DRIVE APPROACHES OR SIGNAGE.
- 3. ALL OPEN TRENCHES AND EXCAVATIONS SHALL BE PROTECTED WITH DRUMS, BARRICADES OR BARRIERS
- 4. ACCESS SHALL BE MAINTAINED AT ALL TIMES FOR EMERGENCY VEHICLES. 5. ANY WORK REQUIRING LANE CLOSURES SHALL BE COMPLETED AT HOURS APPROVED BY THE
- JURISDICTIONAL ENTITY.
- 6. IF LANE CLOSURE IS PROPOSED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUBMIT A DETAILED MAINTENANCE OF TRAFFIC PLAN FOR REVIEW AND APPROVAL BY THE JURISDICTIONAL ENTITY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A MINIMUM 24-HOUR NOTICE TO EACH BUSINESS AND HOMEOWNER BEFORE ANY DRIVEWAY IS BLOCKED, MAILBOX REMOVED, PAVEMENT PLACED OR ANY UTILITY WORK THAT WOULD DISRUPT THEIR OPERATIONS OR DAY TO DAY LIVES, IF APPLICABLE.
- THE CONTRACTOR SHALL INSTALL TEMPORARY PROJECT SAFETY FENCING AT THE SITE PRIOR TO START OF WORK, AS REQUIRED TO PREVENT PUBLIC ACCESS TO THE CONSRUCTION SITE. THE SAFETY FENCING SHALL BE A HIGH VISIBILITY ORANGE COLORED, HIGH DENSITY POLYETHYLENE GRID, A MINIMUM OF 42 IN. HIGH, SUPPORTED AND SECURED TO STEEL POSTS LOCATED ON MAXIMUM 10 FT. CENTERS. THE CONTRACTOR SHALL MAINTAIN THE FENCING DURING THE LIFE OF THE PROJECT INCLUDING IF CONSTRUCTION ACTIVITIES HAVE BEEN TEMPORARILY SUSPENDED (I.E. WINTER MONTHS) AND, UPON COMPLETION OF THE PROJECT, BE REMOVED. INSPECTION AND MAINTENANCE SHALL OCCUR A MINIMUM 1 TIME PER MONTH OR WITHIN 24 HRS. OF NOTIFICATION BY THE OWNER.
- 8. A MINIMUM 10 FT. WIDE LANE OF TRAFFIC IN EACH DIRECTION SHALL BE MAINTAINED AT ALL TIMES ALONG SR 117, BY EITHER THE USE OF THE EXISTING PAVEMENT OR NEW PAVEMENT.
- THE LENGTH AND DURATION OF LANE CLOSURES, LANE RESTRICTIONS AND TIME RESTRICTIONS SHALL BE KEPT TO A MINIMUM OR AT THE DIRECTION OF THE JURISDICTIONAL ENTITY TO MINIMIZE THE IMPACT TO THE TRAVELING PUBLIC. LANE CLOSURES OR RESTRICTIONS IN WHICH NO WORK IS ANTICIPATED WITHIN A REASONABLE AMOUNT OF TIME, AS DETERMINED BY THE JURISDICTIONAL ENTITY SHALL NOT BE PERMITTED.

### DEMOLITION NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL DEMOLITION NECESSARY TO EXECUTE THE WORK INCLUDING COORDINATION OF DEMOLITION WORK WITH NEW WORK SO AS NOT TO CREATE CONFLICTS OF NEW INSTALLATION.
- THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A SUBSURFACE UTILITY LOCATING SERVICE TO FIELD LOCATE PRIVATE UTILITIES (E.G. ELECTRIC, LIGHTING, GAS, CABLE TV, TELEPHONE AND FIBEROPTIC). THE CONTRACTOR SHALL THEN DOCUMENT ANY UTILITY NOT SHOWN OR DIFFERING FROM THE CONSTRUCTION PLANS, AND PROVIDE THE INFORMATION TO THE OWNER SHOWING LOCATIONS WITH MEASUREMENTS TO REFERENCE POINTS. ANY RESULTING UTILITY CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER AND DESIGN FNGINFFR
- ALL TREES, BRUSH AND OTHER VEGETATION WITHIN THE PROJECT LIMITS THAT INTERFERE WITH CONSTRUCTION SHALL BE REMOVED. CLEARING AND GRUBBING SHALL BE PERFORMED WHERE EARTHWORK IS REQUIRED INCLUDING CLEARING, GRUBBING, SCALPING, TREE AND STUMP REMOVAL, AND THE REMOVAL AND DISPOSAL OF ALL VEGETATION AND DEBRIS.
- 4. THE CONTRACTOR SHALL REMOVE ALL SURPLUS, DEMOLISHED AND WASTE MATERIALS INCLUDING TREES, STUMPS AND BRUSH FROM THE PROJECT AND DISPOSE OF OFF-SITE. IN NO INSTANCE SHALL MATERIAL BE BURIED ON-SITE.
- NO TREES GREATER THAN 3 IN. DIAMETER AT BREAST HEIGHT (4 FT.) AND GREATER THAN 10 FT. TALL SHALL BE CUT, REMOVED OR DISTURBED FROM APRIL 1 TO SEPTEMBER 30.
- THE OWNER SHALL HAVE FIRST RIGHT OF SALVAGE FOR ALL PROPOSED DEMOLITION ITEMS; ALL OTHER DEMOLISHED ITEMS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY
- EXISTING ASPHALT ROADWAY SHALL BE NEATLY SAW CUT WHERE IT ABUTS THE NEW ASPHALT DRIVEWAY SO AS TO FORM A CLEAN VERTICAL CUT BETWEEN THE EXSITING ROADWAY AND THE NEW DRIVEWAY. PAVEMENT SHALL BE REMOVED WITHOUT DAMAGING OR UNDERMINING THE PAVEMENT TO REMAIN. IF ADJACENT PAVEMENT IS DAMAGED. THE CONTRACTOR SHALL MAKE ADDITIONAL SAW CUTS. REMOVE THE DAMAGED AREAS AND REPAIR AS NECESSARY WITH NO ADDITIONAL COMPENSATION.
- 8. THE CONTRACTOR SHALL INSTALL A TEMPORARY WEDGE OF ASPHALT CONCRETE AROUND ANY CASTING EXPOSED TO VEHICULAR TRAFFIC HAVING AN ELEVATION DIFFERENTIAL GREATER THAN 1 IN. OR WHICH COULD CONSTITUTE A DRIVING HAZARD.

### LAYOUT NOTES

- 1. PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE ODOT SPECIFICATIONS AND DRAWINGS AND SPECIFICATIONS.
- 2. A 4 IN. WIDE HOT-APPLIED RUBBERIZED JOINT SEALER SHALL BE APPLIED WHERE NEW ASPHALT PAVEMENT MEETS NEW OR EXISTING ROADWAY.
- SIGNAGE AND PAVEMENT MARKING SIZES, DIMENSIONS, COLORS AND OTHER SPECIFICATIONS SHALL FOLLOW THE Ohio Manual of Uniform Traffic Control Devices (OMUTCD), 2012 EDITION.
- 4. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH ODOT ITEM 642, TRAFFIC PAINT. COLOR: YELLOW. 5. ALL PARKING LOT STALL STRIPING SHALL BE 4" WIDE.
- 6. ACCESS AISLE STRIPING ADJACENT TO ACCESSIBLE PARKING STALL SHALL BE 4" WIDE STRIPING AT A 45 DEGREE ANGLE, 18" ON CENTER.

### **UTILITY NOTES:**

- THE CONTRACTOR SHALL MAINTAIN EXISTING UTILITY SERVICE TO ADJOINING PROPERTIES WITHOUT INTERRUPTION. IF SERVICE IS DISRUPTED, THE CONTRACTOR SHALL IMMEDIATELY RECTIFY THE SITUATION WITH NO ADDITIONAL COMPENSATION.
- THE CONTRACTOR SHALL PROTECT, SUPPORT AND SHORE UP ANY EXISTING UTILITY ENCOUNTERED DURING CONSTRUCTION AND COORDINATE ALL WORK TO BE PERFORMED WITH EACH RESPECTIVE UTILITY COMPANY
- 3. THE CONTRACTOR SHALL INSTALL PROXIMITY WARNING DEVICES ON ALL EXISTING OVERHEAD WIRES LOCATED AT THE SITE PRIOR TO START OF ANY WORK AND REMOVE UPON COMPLETION OF THE WORK.
- 4. OVERHEAD ELECTRIC POWER LINES A. EQUIPMENT AND PERSONNEL WORKING NEAR POWER LINES MUST MAINTAIN SAFE WORKING DISTANCES FROM THE OVERHEAD POWER LINES.
- B. DURING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL APPROPRIATELY PLACED WARNING SIGNAGE REGARDING WORKING NEAR OVERHEAD POWER LINES, AS MAY BE REQUIRED.
- C. THE CONTRACTOR SHALL READ AND FOLLOW THE MOST CURRENT STANDARDS AND SPECIFICATIONS RELATED TO OVERHEAD POWER LINES IN THE CONSTRUCTION INDUSTRY, INCLUDING THE PRACTICES AND REQUIREMENTS OF OSHA STANDARDS, SUBPART V "POWER TRANSMISSION AND DISTRIBUTION", SECTIONS 1926.950 THRU 1926.957.

7. THE CONTRACTOR SHALL PRESERVE BENCHMARKS, PROPERTY LINE REFERENCES (E.G., PINS, PIPES, MONUMENTS) AND CONTROL POINTS. IF DISTURBED. THE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE, BE RESPONSIBLE FOR ERRORS CAUSED BY THEIR LOSS OR DISTURBANCE, AND FURNISH A

### **GRADING NOTES:**

1. ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS AND MATERIALS OF CONSTRUCTION. ALTHOUGH EXCAVATED SUBSOIL IS ASSUMED TO BE SUITABLE FOR FILL MATERIAL UNDER PAVEMENTS, THE DESIGN ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUITABILITY OF MATERIAL UNDERLYING THE PROJECT SITE. THE CONTRACTOR SHALL PERFORM INVESTIGATIONS OR TESTING NECESSARY TO ADEQUATELY DETERMINE OR ESTIMATE TO THEIR SATISFACTION ANY EXISTING SITE CONDITION WHICH COULD AFFECT HIS BID OR THE PERFORMANCE OF THE PROPOSED IMPROVEMENTS. THIS COULD INCLUDE, BUT NOT BE LIMITED TO, UNSUITABLE OR UNSTABLE SOIL/SUBSURFACE CONDITIONS, ROCK, WATER (PERCHED OR FREE), SPRINGS, OBSTRUCTIONS, ETC.

2. THE CONTRACTOR SHALL PROVIDE FINAL GRADING TO GRADES SHOWN ON THE GRADING PLANS. 3. THE CONTRACTOR SHALL PROTECT EXSITING ROADWAY PAVEMENT TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING OR WASHOUT CREATED BY EARTH MOVING OPERATIONS.

4. THE INTENT OF THIS PROJECT IS TO UTILIZE ALL USEABLE MATERIALS EFFICIENTLY. ACTUAL FIELD CONDITIONS MAY REQUIRE DECISIONS ON MATERIAL HANDLING AND USAGE. THE CONTRACTOR IS RESPONSIBLE FOR MONITORING AND MAINTAINING SITE CONDITIONS.

5. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FROM AREAS WHERE ASPHALT PAVEMENT IS TO BE INSTALLED, TO WHATEVER DEPTH ENCOUNTERED, AND IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL. IN AREAS TO BE SEEDED, TOPSOIL SHALL BE STRIPPED ONLY TO DEPTHS REQUIRED TO ACHIEVE FINISH GRADES AND MAINTAIN A MIN. 4" DEPTH OF TOPSOIL, LIKEWISE, USE STRIPPED TOPSOIL AS FILL TO ACHIEVE FINISH GRADES IN AREAS TO BE SEEDED; DO NOT STRIP TOPSOIL TO FULL DEPTH IN AREAS TO BE SEEDED. DEPTH OF TOPSOIL IS ASSUMED TO BE APPROX. 10". SOIL SHALL NOT BE STOCKPILED NEAR THE EDGE OF EXCAVATIONS OR WITHIN DRIP LINES OF TREES TO REMAIN.

6. ANY EXCESS SUBSOIL AND TOPSOIL MATERIAL GENERATED FROM EARTHWORK OPERATIONS SHALL BE USED FOR MOUNDING IN AREA INDICATED ON THE PLANS, AND AS FIELD DIRECTED BY OWNER. 7. THE CONTRACTOR SHALL FOLLOW THE FOLLOWING GUIDELINES FOR EXCAVATION AND EMBANKMENT TO

- CONSTRUCT THE IMPROVEMENTS AND ACHIEVE THE FINISHED GRADES SHOWN ON THE GRADING PLANS: A. SUITABLE FILL SHALL BE PLACED UNDER AREAS OF PAVEMENTS, AND 45° ANGLE OF INFLUENCE COMPACTED TO 98% MAXIMUM DRY DENSITY OF STANDARD PROCTOR WITH MOISTURE CONTENT ADJUSTED TO +2/-2% OF OPTIMUM.
- GENERAL FILL SHALL BE PLACED IN ALL OTHER AREAS COMPACTED TO 95% MAXIMUM DRY DENSITY OF STANDARD PROCTOR WITH MOISTURE CONTENT ADJUSTED TO +3/-3% OF OPTIMUM.
- C. FILL SHALL BE WETTED OR DRIED TO NEAR ITS OPTIMUM MOISTURE CONTENT, PLACED IN LIFTS AND COMPACTED TO A MINIMUM PERCENT COMPACTION. UNDER THE OBSERVATION AND TESTING OF A TESTING AGENCY

D. SOIL OBTAINED ON-SITE MAY BE USED IF IT IS FREE OF ORGANIC MATTER, DEBRIS, EXCESSIVE MOISTURE AND ROCK FRAGMENTS 6 IN. AND LARGER, AND IS APPROVED BY ENGINEER.

- NO SLAG, RIVER GRAVEL, SANDSTONE, FOUNDRY SAND, RECYCLED PORTLAND CEMENT CONCRETE (RPCC), RECLAIMED ASPHALT CONCRETE PAVEMENT (RACP) OR RECLAIMED BITUMINOUS AGGREGATE BASE (RBAB) SHALL BE USED AS FILL OR EMBANKMENT.
- UNSUITABLE MATERIAL ENCOUNTERED DURING INSTALLATION OF PAVEMENT AS DEFINED BY A GEOTECHNICAL ENGINEER SHALL BE UNDERCUT AND REPLACED WITH COMPACTED FILL OR STABILIZED IN-PLACE UTILIZING CONVENTIONAL MEASURES SUCH AS DISKING, AERATION OR RECOMPACTION. OTHER MEANS OF STABILIZATION SHALL BE AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER.

8. MINIMUM EARTHWORK GUIDELINES SHALL BE AS FOLLOWS:

- A. SPECIAL BACKFILL MATERIAL SIEVE ANALYSIS PER ASTM C-136: 1 TEST PER SOURCE
- B. ON-SITE TRENCH BACKFILL ANALYSIS PER ASTM D-2487: AS DIRECTED BY ENGINEER.
- C. PIPE BEDDING AND COVER SIEVE ANALYSIS PER ASTM C-136: 1 TEST PER SOURCE.
- D. DRAINAGE FILL SIEVE ANALYSIS PER ASTM C-136: 1 TEST PER SOURCE.
- E. SOIL COMPACTION TESTING PER ASTM D-698.
- I. EMBANKMENT: MINIMUM 1 TEST PER 5,000 S.F. OF EACH LIFT.
- II. TRENCH BACKFILL: MINIMUM 1 TEST PER 50 L.F. OF EACH LIFT.
- III. SUBGRADE AND/OR SUBBASE: MINIMUM 1 TEST PER 200 L.F. OF PAVEMENT SUBJECT TO GREATER FREQUENCY DUE TO SOIL CONDITIONS OR ENGINEER'S DIRECTION.
- F. BACKFILL COMPACTION PER ASTM D-4253 AND D-4254: 1 TEST PER 50 L.F. OF EACH LIFT.
- G. LOW STRENGTH MORTAR TESTING PER ASTM D-4832.

9. EXPOSED PAVEMENT SUBGRADE AREAS SHALL BE MAINTAINED IN CONDITIONS TO PREVENT PONDING OF WATER AFTER RAINS. 10. BEFORE ACCEPTANCE OF THE SUB-GRADE UNDER PAVEMENT, A PROOF ROLL TO IDENTIFY SOFT

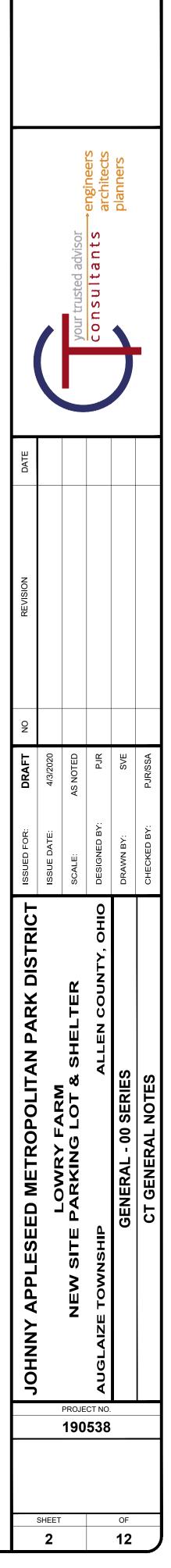
POCKETS AND AREAS OF EXCESS YIELDING SHALL BE PERFORMED IN THE PRESENCE OF THE DESIGN ENGINEER USING A PNEUMATIC-TIRED AND LOADED 10-WHEEL, TANDEM-AXLE DUMP TRUCK WEIGHING NOT LESS THAN FORTY (40) TONS AT A MAXIMUM VEHICLE SPEED OF 3 MPH. DO NOT PROOF-ROLL WET OR SATURATED SUBGRADES. THE CONTRACTOR SHALL EXCAVATE SOFT SPOTS, UNSATISFACTORY SOILS AND AREAS OF EXCESSIVE PUMPING OR RUTTING AND REPLACE WITH COMPACTED BACKFILL. AS DIRECTED BY THE DESIGN ENGINEER OR GEOTECHNICAL ENGINEER.

11. THE CONTRACTOR SHALL RECONSTRUCT ANY SUBGRADE DAMAGED BY FREEZING TEMPERATURES, FROST, RAIN, ACCUMULATED WATER OR CONSTRUCTION ACTIVITIES WITHOUT ADDITIONAL COMPENSATION.

12. CONTRACTOR IS RESPONSIBLE FOR BALANCING CUT AND FILL ON THE PROJECT, INCLUDING USE OF EXCESS MATERIALS TO BUILD MOUIND INDICATED ON PLANS.

### LANDSCAPE NOTES

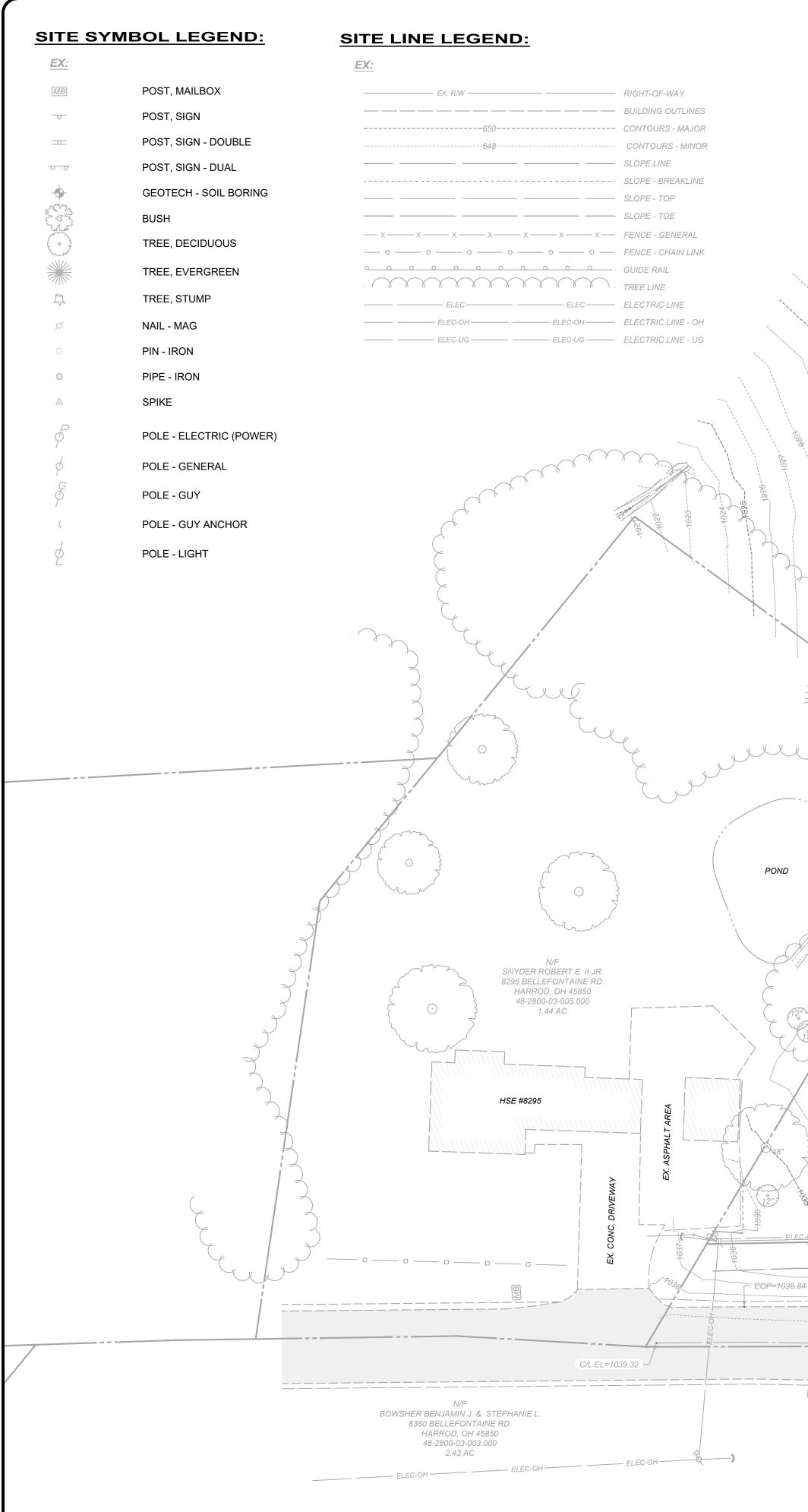
- 1. ALL LAWN AND PRAIRIE SEEDING SHALL BE PERFORMED BY A FIRM SPECIALIZING IN THIS TYPE OF LANDSCAPE WORK.
- 2. THE CONTRACTOR MUST DETERMINE THE LOCATION OF ALL EXISTING AND NEW UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER THAT WILL AVOID DAMAGE OF UNDERGROUND UTILITIES. HAND EXCAVATE. AS REQUIRED.
- 3. THE CONTRACTOR SHALL PROTECT EXISTING TREES AND PLANTS NOT DESIGNATED FOR REMOVAL. ANY TREE OR PLANT, INCLUDING ROOTS, DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED BY
- THE CONTRACTOR WITH LIKE SPECIES AND SIZE WITH NO ADDITIONAL COMPENSATION. 4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE GRADED TO A SMOOTH, UNIFORM SURFACE WITH LOOSE, UNIFORMLY FINE TEXTURE INCLUDING REMOVAL OF ALL STONES GREATER THAN 1/2", STICKS, ROOTS, RUBBISH AND OTHER EXTRANEOUS MATTER USING ROCKHOUND LANDSCAPE
- RAKE EQUIPMENT. 5. THE CONTRACTOR SHALL HAVE SOIL TESTS PERFORMED AT HIS EXPENSE BY A STATE APPROVED SOILS TESTING LABORATORY TO DETERMINE AMENDMENTS, IF ANY, TO THE EXISTING SOILS FOR THE TYPES OF SEED TO BE ISTALLED.
- 6. WATER SHALL BE FURNISHED FOR WATERING SEEDED LAWNS AND PRAIRIES. WATER ON A WEEKLY BASIS IN ABSENCE OF 1-1/2 IN. RAINFALL. SEEDED AREAS SHALL BE THOROUGHLY WATERED THROUGHOUT THE PERIOD OF ESTABLISHMENT.
- 7. BEFORE FINAL INSPECTION BY THE OWNER OR LANDSCAPE ARCHITECT, ALL SEEDED AREAS SHALL BE IN PLACE AND UNDER THE CARE OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE OF PROJECT BY OWNER. 8. STOCKPILED TOPSOIL SHALL BE SCREENED FROM CLAY LUMPS, BRUSH, WEEDS, LITTER, ROOTS, STONES LARGER THAN 1/2", AND OTHER EXTRANEOUS MATTER BEFORE PLACEMENT.
- 9. SUPPLIER'S NAME AND ANALYSIS OF THE SEED SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO SEEDING.
- 10. DO NOT INSTALL SEED UNTIL ACCEPTANCE OF FINISH GRADE BY THE OWNER.
- 11. MOISTEN PREPARED AREAS BEFORE SEEDING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING LAWNS. DO NOT CREATE A MUDDY SOIL CONDITION.





H:\2019\190538\DWG\SHEETS\C\_190538 - OVERALL SITE PLAN.DWG - 4 - OVERALL SITE PLAN - 4/8/2020 9:51:42 AM - SAMER AWADALLAH

BAR SCALE						
200' 100' 0' 200' SCALE: 1"= 200'			your trusted advisor	consultants engineers architects	planners	
	DATE					
	REVISION					
	ON					
	DRAFT	4/3/2020	AS NOTED	PJR	BEK	PJR
	ISSUED FOR:	ISSUE DATE:	SCALE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:
	JOHNNY APPLESEED METROPOLITAN PARK DISTRICT		NEW SITE I		GENERAL - 00 SERIES	OVERALL SITE PLAN
				ст NO. <b>538</b>		
		SHEET			OF	
		3			12	



H:\2019\190538\DWG\SHEETS\C\_190538 - EXISTING CONDITIONS PLAN.DWG - 4 EXISTING CONDITIONS PLAN - 4/7/2020 12:00:25 PM - SAMER AWADALLAH

	1		
	and the second sec		
	and the second sec		
	and the second		
	No.		
	46 <sup>1</sup> / <sub>1</sub> , <sup>3</sup> / <sub>1</sub> , <sup>1</sup> / <sub>1</sub> , <sup></sup>		
034			
Harlo <sup>3,10</sup>			
Light and the second	+035		
i de la companya de			
A Base			
		1636	
	64		
taga (1000-04)	46710 <sup>36,64</sup>		
1029			
		1037-0	LIGT 10 <sup>20</sup>
	10 <sup>3</sup> 1.5 <sup>5</sup>	1037-87	
	LEIN N	H <sup>C</sup>	
	x	•	
		N/F	EED HGT NGG
		1038 JOHNNY APPLES METROPOLITAN F DISTRICT	PARK
	4.5°°,038,45	Denner	
	4.GTN		
	×		B B B B B B B B B B B B B B B B B B B
$\mathcal{L}$			
			46 <sup>-10<sup>38,14</sup></sup>
		- +039 - 59. <sup>6</sup>	· /
		1039 039. 1637 039.	
		torno3 <sup>1,0</sup>	
		, cri <sup>to's</sup>	
	2 <sup>3</sup>	· ·	
	45" 038.3"		
		/ *	
$\mathcal{F} = \mathcal{F} = \mathcal{F} = \mathcal{F}$		45 <sup>(1)</sup> 0 <sup>39,05</sup>	
6"			
			4 <sup>cr1038.1</sup> <sup>1</sup>
/////	60°	L <sup>STAC</sup>	10 <sup>3</sup>
	45 <sup>41</sup> 0 <sup>36</sup> 2 <sup>3</sup>	· ·	
	×		
$\langle A \rangle$			4 <sup>6</sup>
			461,0 <sup>59,66</sup> 7030 46 <sup>11</sup>
		LG <sup>11</sup> 0 <sup>36</sup> <sup>66</sup>	·
CLUS C B \		4 <sup>64</sup>	18
		-	4 <sup>G/109</sup> 18
			~~ -
	-103	4033	
			1040
TREE	/ BENCHMA	RK#1	
	ELEV.=103	8.81'	
	ELEC-OH TEL-UG	TELEC-OH TELEC-OH	E_UG EC-OHEX. RW_IEL-UGELEC-OH
DH FRENCH FLECOH FLECOH FLECOH FLECOH	THE US OVEX. R/W		
			EX. SLOPE
	EOP=1039.49	EOP=1039.73	EOP=1040.75 EX. SLOPE TOE
	EX. SIGN	0.66 <u>1040</u> EOP=1040.09	EOP=1040.37
BELLEFONTAINE F (S.R. 117)			
- C/L EL=1039.30 C/L EL=1039.54 - C/L EL=103	9.70 C/L EL=1039.87	10.08 C/L EL=1040.49	C/L EL=1040.77
	-1010 H = 1039.87		- $(1)$ $= 1 = (1) =$

# EXISTING CONDITIONS PLAN VIEW SCALE: 1" = 30'



### BM#1

BEING A NAIL SET IN THE SOUTHWESTERLY SIDE OF A POLE LOCATED ON THE NORTH SIDE OF BELLEFONTAINE ROAD, APPROXIMATELY 250 FEET NORTHWEST FROM THE DRIVE AT PROPERTY 8360 BELLEFONTAINE ROAD. ELEV.=1038.81'

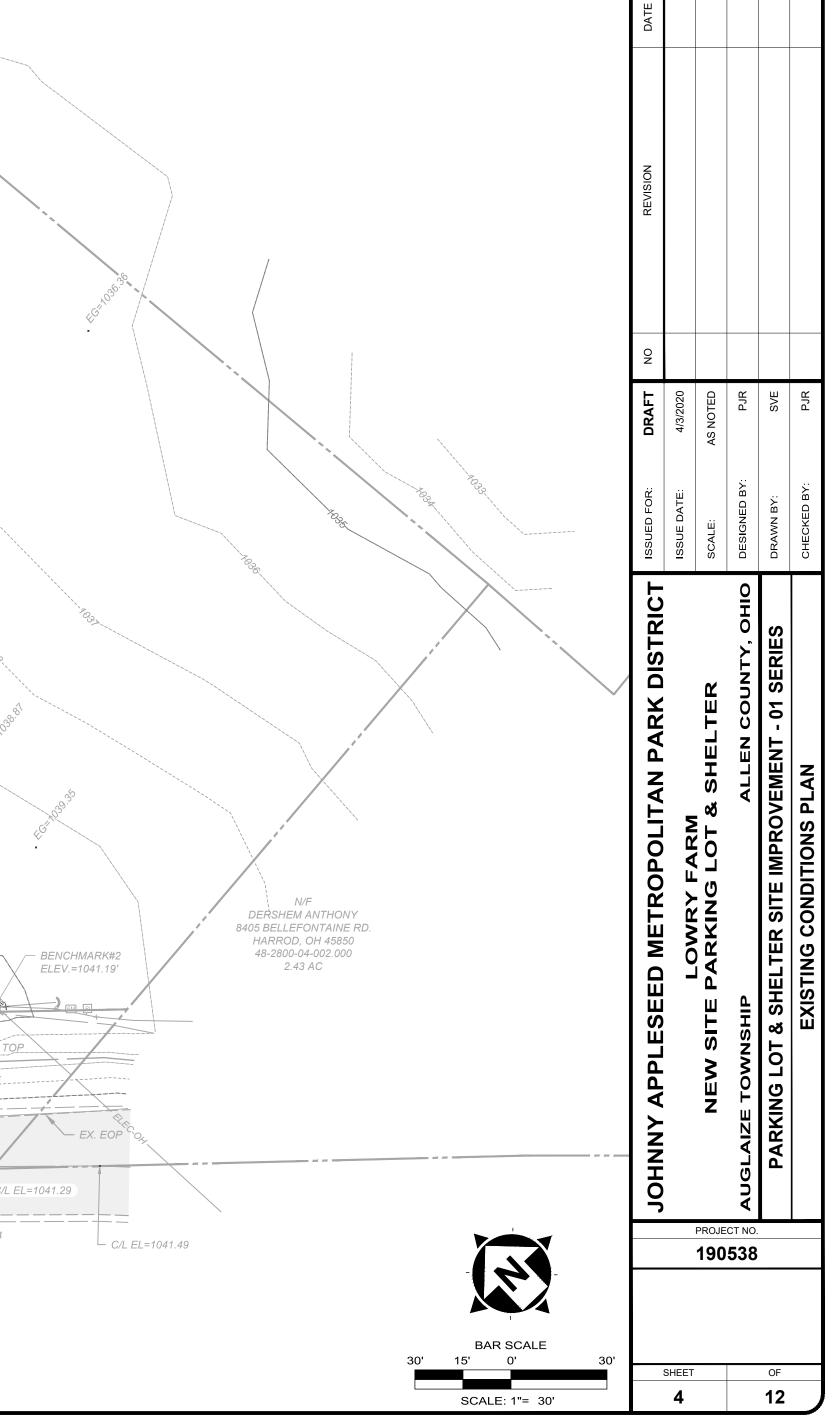
BM#2

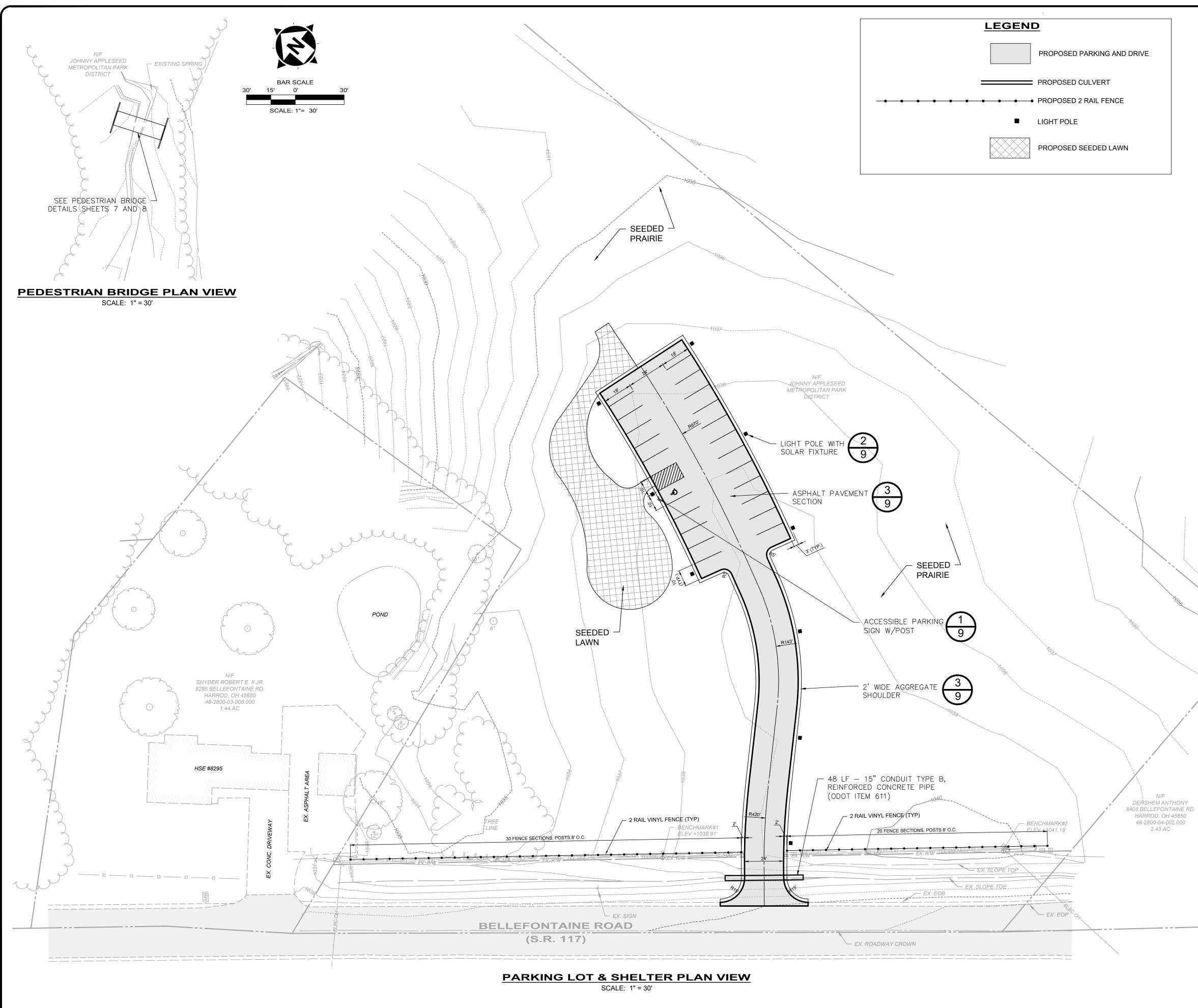
BEING A NAIL SET IN THE SOUTHWESTERLY SIDE OF A POLE LOCATED ON THE NORTH SIDE OF BELLEFONTAINE ROAD, APPROXIMATELY 40 FEET NORTHWEST FROM THE DRIVE AT PROPERTY 8360 BELLEFONTAINE ROAD. ELEV.=1041.19'

j F Q

מש

u tants





# **BENCHMARKS**:

# BM#1

BEING A NAIL SET IN THE SOUTHWESTERLY SIDE OF A POLE LOCATED ON THE NORTH SIDE OF BELLEFONTAINE ROAD, APPROXIMATELY 250 FEET NORTHWEST FROM THE DRIVE AT PROPERTY 8360 BELLEFONTAINE ROAD. ELEV.=1038.81'

### *BM*#2

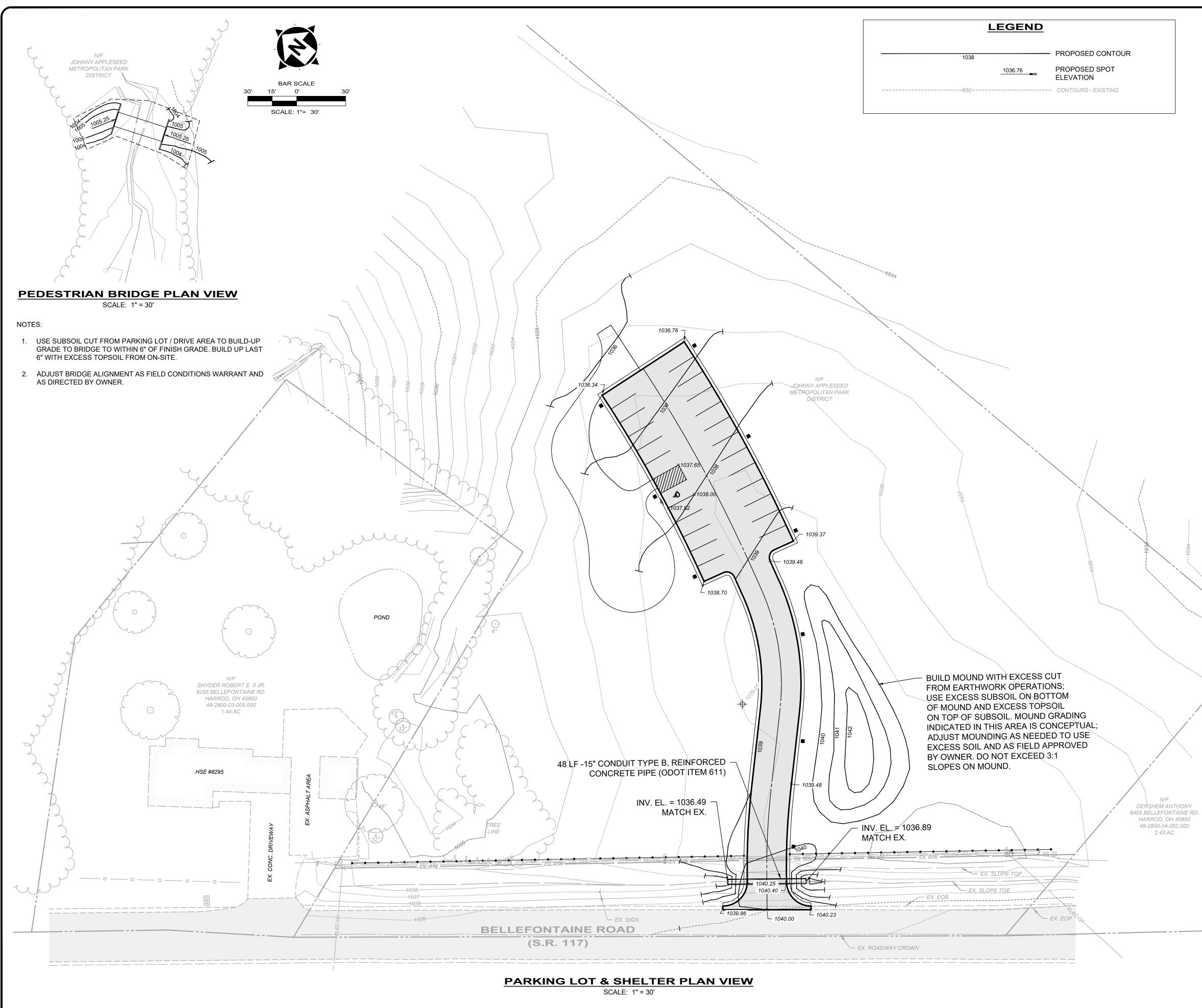
N/F

BEING A NAIL SET IN THE SOUTHWESTERLY SIDE OF A POLE LOCATED ON THE NORTH SIDE OF BELLEFONTAINE ROAD, APPROXIMATELY 40 FEET NORTHWEST FROM THE DRIVE AT PROPERTY 8360 BELLEFONTAINE ROAD. ELEV.=1041.19'

		JOHNNY APPLESEED METROPOLITAN PARK DISTRICT	ISSUED FOR:	DRAFT NO	REVISION	DATE		
<sup>SHEET</sup> 5			ISSUE DATE:	4/3/2020				
	190	NEW SITE F	SCALE: AS	AS NOTED			your trusted advisor	
	538		DESIGNED BY:	PJR			consultants engineers architects	
OF 12		PARKING LOT & SHELTER SITE IMPROVEMENT - 01 SERIES	DRAWN BY:	SVE			planners	
		SITE LAYOUT PLAN	CHECKED BY:	PJR/SSA				



SCALE: 1"= 30







# **BENCHMARKS**:

# BM#1

BEING A NAIL SET IN THE SOUTHWESTERLY SIDE OF A POLE LOCATED ON THE NORTH SIDE OF BELLEFONTAINE ROAD, APPROXIMATELY 250 FEET NORTHWEST FROM THE DRIVE AT PROPERTY 8360 BELLEFONTAINE ROAD. ELEV.=1038.81'

### BM#2

N/F

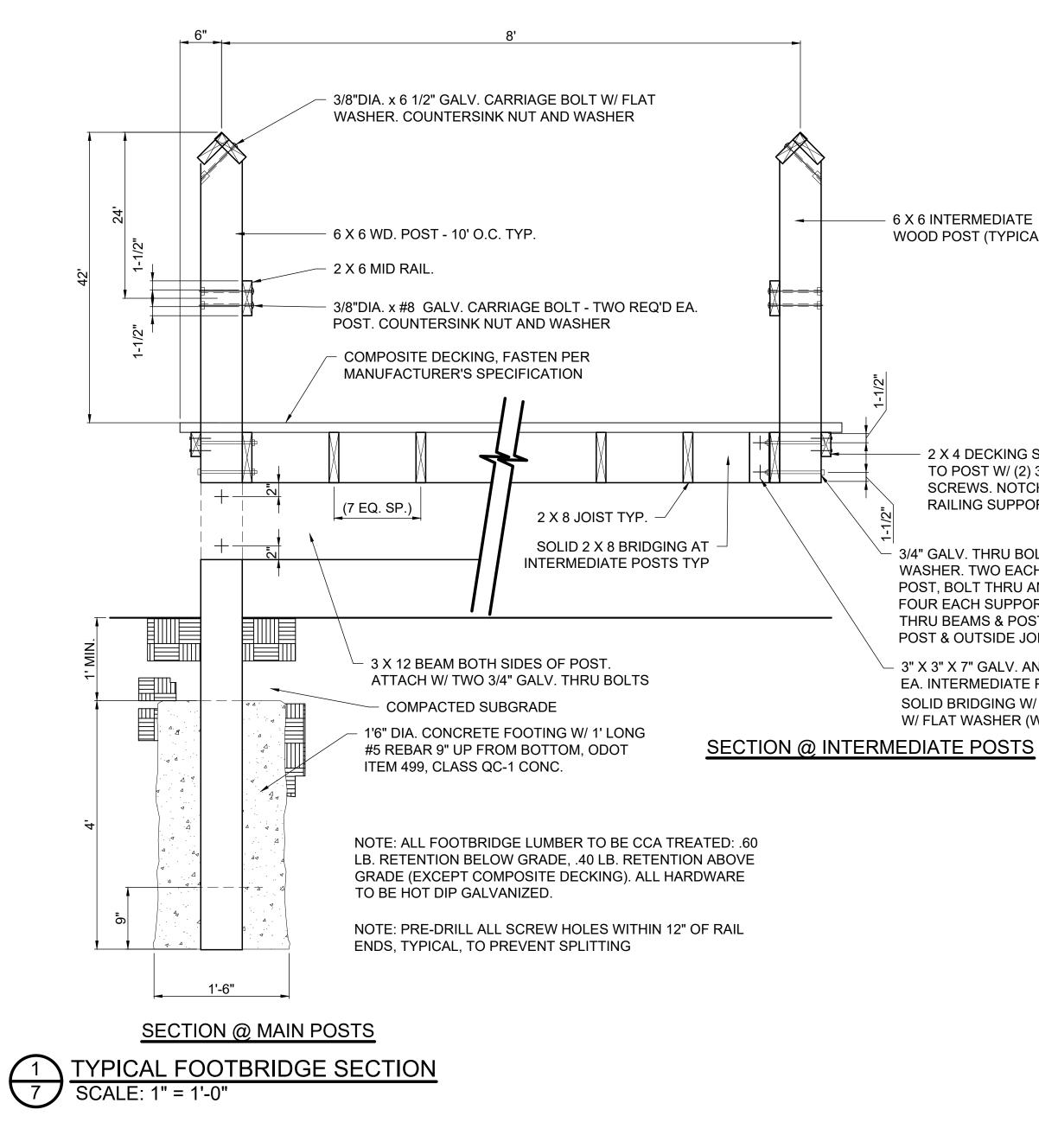
2.43 AC

BEING A NAIL SET IN THE SOUTHWESTERLY SIDE OF A POLE LOCATED ON THE NORTH SIDE OF BELLEFONTAINE ROAD, APPROXIMATELY 40 FEET NORTHWEST FROM THE DRIVE AT PROPERTY 8360 BELLEFONTAINE ROAD. ELEV.=1041.19'

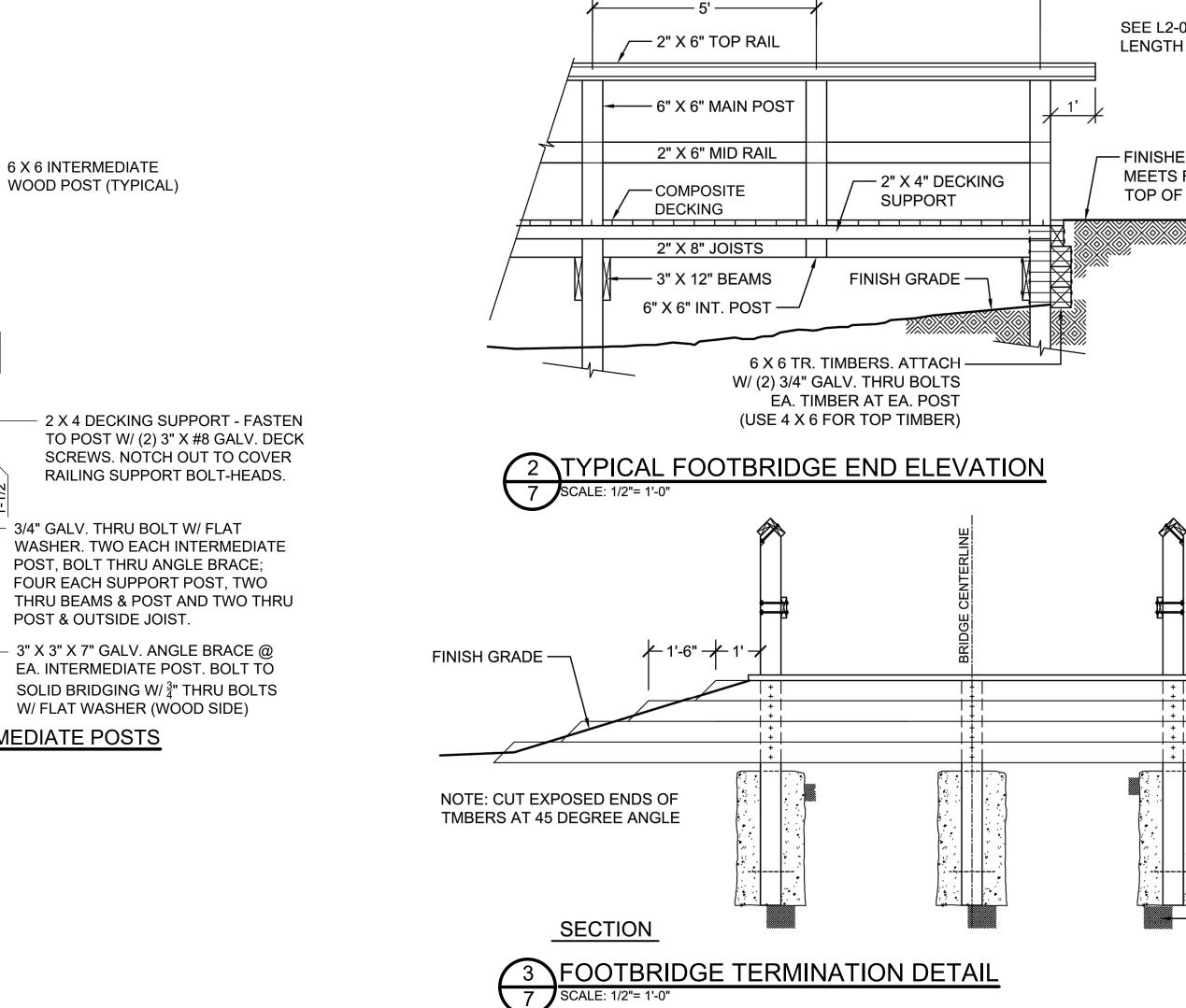
		your trusted advisor	consultants engineers architects	planners	
DATE					
REVISION					
T NO	0	0	×	X	٨
DRAFT	4/3/2020	AS NOTED	BEK	BEK	PJR/SSA
ISSUED FOR:	ISSUE DATE:	SCALE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:
JOHNNY APPLESEED METROPOLITAN PARK DISTRICT	I OWRY FARM	NEW SITE PARKING LOT & SHELTER	AUGLAIZE TOWNSHIP ALLEN COUNTY, OHIO	PARKING LOT & SHELTER SITE IMPROVEMENT - 01 SERIES	GRADING PLAN
		<sup>proje</sup> 190	ст NO. <b>538</b>		·
	SHEET			OF	
	6			12	



SCALE: 1"= 30'



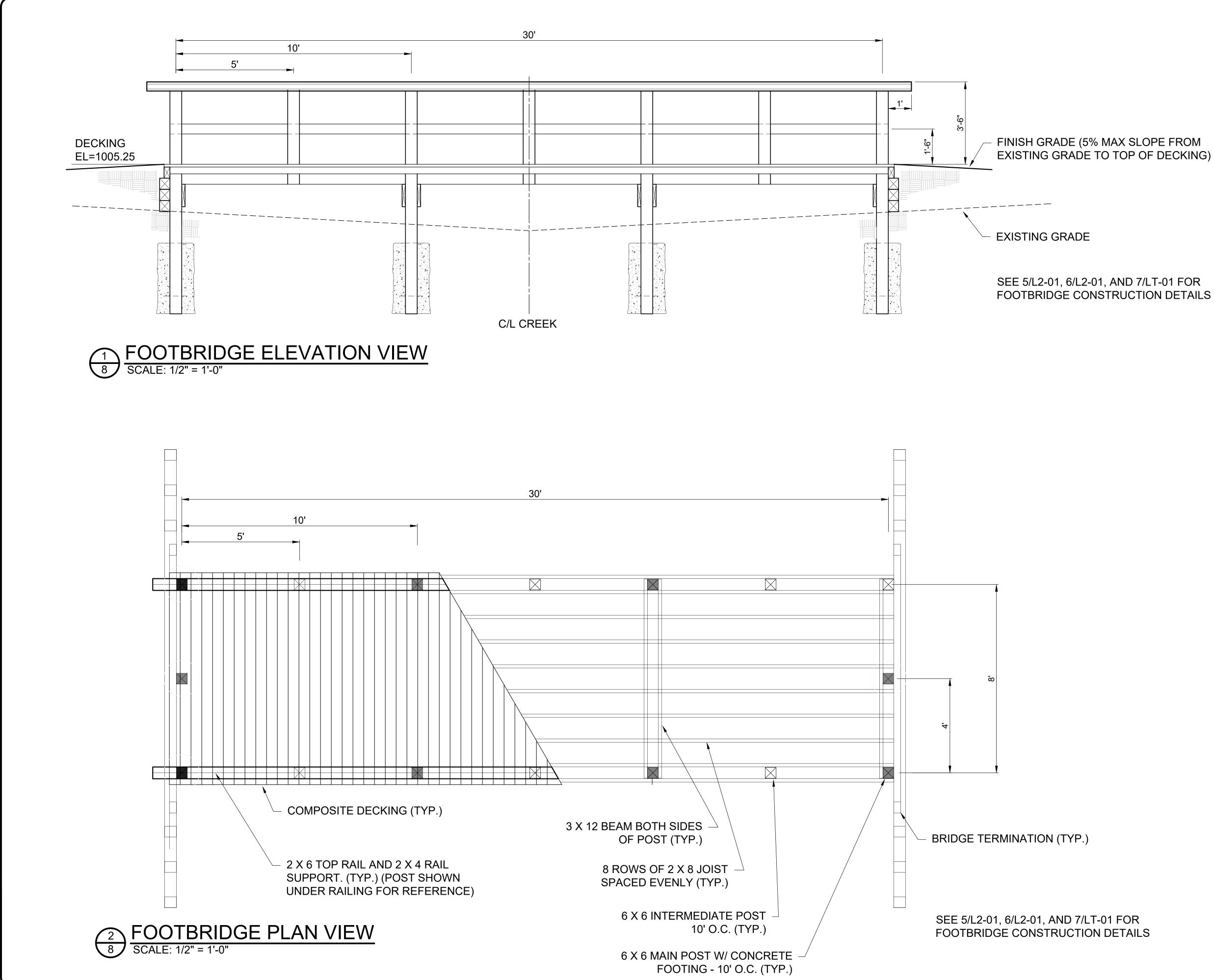
H:\2019\190538\DWG\SHEETS\C\_190538 - DETAILS.DWG - SD-1 - 4/7/2020 1:07:24 PM - SAMER AWADALLAH



– 6 X 6 INTERMEDIATE WOOD POST (TYPICAL)

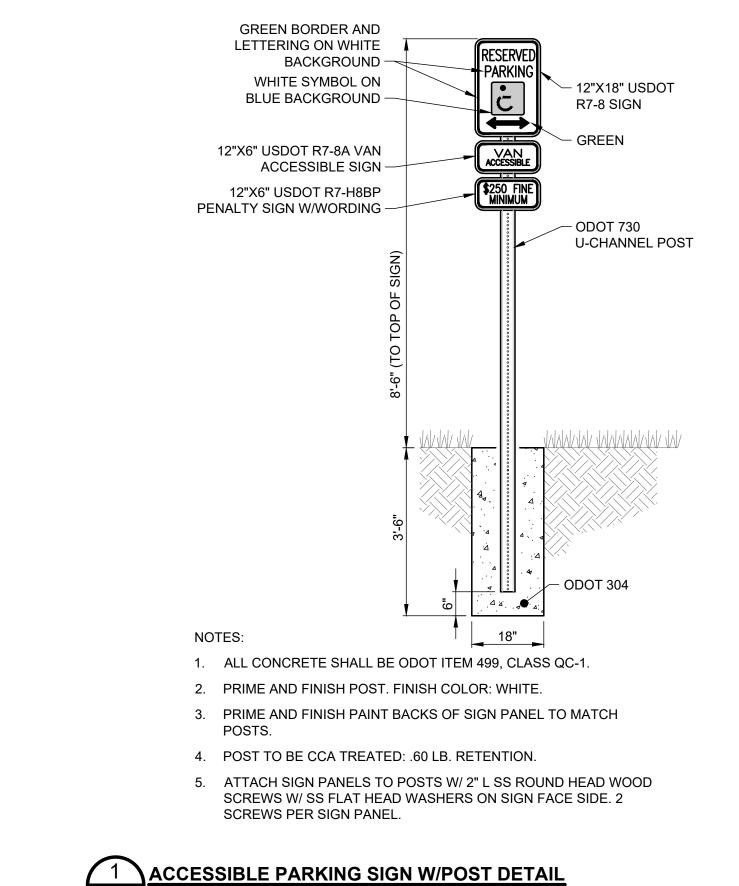
POST & OUTSIDE JOIST.

			your trusted advisor		planners	
	DATE					
SEE L2-02 & L2-03 SHEETS FOR TOTAL LENGTH OF FOOTBRIDGE AND OVERLOOK	REVISION					
- FINISHED GRADE MEETS FLUSH WITH TOP OF 4 X 6 TIMBER	FT NO	1020	TED	PJR	BEK	SSA
	ISSUED FOR: DRAFT	ISSUE DATE: 4/3/2020	SCALE: AS NOTED	DESIGNED BY:	DRAWN BY: E	CHECKED BY: PJR/SSA
(1) 4 X 6 TR. TIMBER (TOP TIMBER) AND (3) 6 X 6 TR. TIMBERS, ATTACH W/ (2) 3/4" GALV. THRU BOLTS EA. TIMBER AT EA. POST	JOHNNY APPLESEED METROPOLITAN PARK DISTRICT	LOWRY FARM	NEW SITE PARKING LOT & SHELTER		CONSTRUCTION DETAILS - 10 SERIES	PEDESTRIAN BRIDGE DETAILS    C
			190	538		
	S	внеет <b>7</b>			OF 12	J



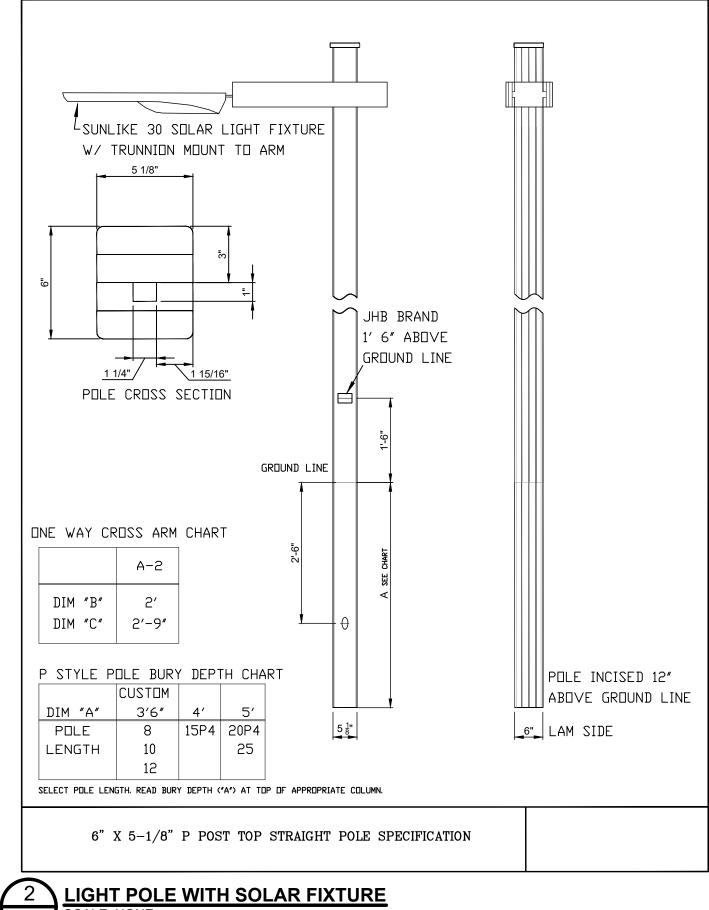
H:\2019\190538\DWG\SHEETS\C\_190538 - DETAILS.DWG - SD-2 - 4/7/2020 1:07:24 PM - SAMER AWADALLAH

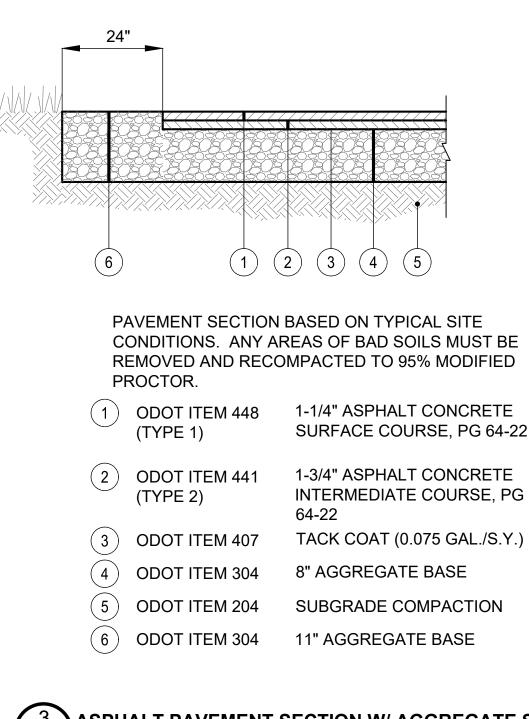
		JOHNNY APPLESEED METROPOLITAN PARK DISTRICT	ISSUED FOR:	DRAFT	ON	REVISION			
SHEET			ISSUE DATE:	4/3/2020					
	190	NEW SITE F	SCALE:	AS NOTED			your trusted advisor		
	538		DESIGNED BY:	PJR			consultants end arch	engineers architects	
OF 12		CONSTRUCTION DETAILS - 10 SERIES	DRAWN BY:	BEK			RIG.	olanners	
		PEDESTRIAN BRIDGE DETAILS	СНЕСКЕD ВУ:	PJR/SSA					



9 SCALE: NONE

H:\2019\190538\DWG\SHEETS\C\_190538 - DETAILS.DWG - SD-3 - 4/7/2020 1:07:24 PM - SAMER AWADALLAH





9 SCALE: NONE

# 9 SCALE: NONE

SURFACE COURSE, PG 64-22

1-3/4" ASPHALT CONCRETE INTERMEDIATE COURSE, PG

**3** ASPHALT PAVEMENT SECTION W/ AGGREGATE SHOULDER

		JOHNNY APPLESEED METROPOLITAN PARK DISTRICT	ISSUED FOR:	DRAFT NO	ON	REVISION	DATE	
SHEET			ISSUE DATE:	4/3/2020				
		NEW SITE F	SCALE:	AS NOTED				your trusted advisor
	538		DESIGNED BY:	PJR				consultants engineers architects
OF		CONSTRUCTION DETAILS - 10 SERIES	DRAWN BY:	BEK				planners
		MISCELLANEOUS DETAILS	CHECKED BY:	PJR/SSA				

SITE AND PROJECT INFORMATION	
PROJECT NAME AND LOCATION: LOWORY FARM — JOHNNY APPLESEED METROPOLITON F DISTRICT IMPROVEMENTS PROJECT NEW SITE PARKING LOT & SHELTER AUGLAIZE TOWNSHIP, ALLEN COUNTY, OHIO	PARK
OWNER INFORMATION: JOHNNY APPLESEED METROPOLITON PARK 2355 ADA ROAD LIMA, OH 45801 PHONE: 419-221-1232 jampd@jamped.com	
GENERAL CONTRACTOR INFORMATION:	
BUSINESS NAME	
STREET ADDRESS	
CITY STATE 2	ZIP COD
CONTACT INFORMATION FOR THE PERSON RESPONSIBLE AUTHORIZING AND AMENDING THE SWPPP:	FOR
CONTACT NAME PHONE NU	JMBER
PROJECT DESCRIPTION: ADDING A PROPOSE PARKING LOT AND A PEDESTRIAN AS SHOWN ON THE SITE IMPROVEMENT PLAN.	BRIDGE
PRIOR LAND USE: THE SITE IS CURRENTLY A FARM LAND.	
TYPE OF CONSTRUCTION (CHECK ALL THAT APPLY):   MAINTENANCE RETAIL CENTER COI   REDEVELOPMENT MANUFACTURING IND   NEW DEVELOPMENT HEALTH FACILITY SUE    XOTHER:  PARK PARKING LOT	BDIAIZIO
SITE AREA SUMMARY: TOTAL PROJECT SITE AREA: <u>75</u> AC. AREA TO BE DISTURBED: <u>0.98</u> AC.	
PRE-DEVELOPMENT RUN-OFF COEFFICIENT: <u>0.8</u> POST-DEVELOPMENT RUN-OFF COEFFICIENT: <u>0.8</u>	
ESTIMATED CONSTRUCTION START DATE: <u>JUNE, 2</u> ESTIMATED CONSTRUCTION COMPLETION DATE: <u>DEC, 2</u>	
SITE SOIL TYPES AND DESCRIPTIONS:NAMEDESCRIPTIONGWE1B1GLYNWOOD SILT LOAM, END MORAINE, 2 TO 6 PERCENT SLOPESBLE1B1BLOUNT SILT LOAM, END MORAINE, 2 TO 4 PERCENT SLOPESPMAPEWAMO SILTY CLAY LOAM, 0 TO 1 PERCENT SLOPES,	% OF SITE 75% 4% 21%
NAME OF RECEIVING STREAM OR SURFACE WATER: AUGLAIZE RIVER.	
EROSION AND SEDIMENT CONTROL MEASURES USED ON TH SILT FENCE, CONSTRUCTION ENTRANCE, CONCRETE WA PIT AND PERMANENT SEEDING.	
EROSION AND SEDIMENT CONTROL MEASURES TO REMAIN A	

CONSTRUCTION AND BECOME THE POST CONSTRUCTION CONTROL MEASURES: PERMANENT SEEDING.

# SOIL PROTECTION CHART

H:\2019\190538\DWG\SHEETS\G\_190538 - SWPPP NOTES & DETAILS.DWG - 25 SWPPP NOTES - 4/7/2020 11:49:08 AM - SAMER AWADALLAH

STABILIZATION TYPE	IJ	F	М	Α	Μ	J	J	Α	S	0	Ν	D
PERMANENT SEEDING				•	$\bullet$	*	*	*				
TEMPORARY SEEDING				lacksquare	$\bullet$	*	*	*				
SODDING			*	*	*	*	*	*	*			
MULCHING				$\bullet$	lacksquare	$\bullet$	$\bullet$				$\bullet$	ullet

(\*) – IRRIGATION NEEDED

# **GENERAL NOTES**

- 1. THE CONTRACTOR SHALL FOLLOW THE PRACTICES AND REQUIREMENTS OF EROSION AND SEDIMENT CONTROL IN THE MOST CURRENT STANDARDS AND SPECIFICATIONS FOR A) ODNR RAINWATER AND LAND DEVELOPMENT MANUAL AND B) OHIO EPA GENERAL PERMIT FOR CONSTRUCTION SITE STORM WATER.
- 2. THE CONTRACTOR SHALL USE EROSION CONTROL MEASURES TO PREVENT SEDIMENT MOVEMENT.
- 3. SOIL STOCKPILES SHALL BE RINGED WITH SILT FENCE ALONG THE BOTTOM FOOTPRINT. IF THE STOCKPILE WILL BE INACTIVE FOR 21 DAYS OR MORE, THE SURFACE SHALL BE SEEDED OR STABILIZED WITHIN 7 DAYS OF LAST ACTIVITY.
- 4. THE CONTRACTOR MAY NEED ADDITIONAL DEWATERING OR EROSION AND SEDIMENTATION PREVENTION MEASURES TO CONTEND WITH GROUNDWATER. GROUNDWATER, STORM WATER AND SEDIMENT BEARING DRAINAGE SHALL BE FILTERED OR PONDED TO ALLOW REMOVAL OF SILT, SEDIMENT, DEBRIS AND OTHER POLLUTANTS PRIOR TO DISCHARGE FROM THE SITE (I.E. SETTLING IN PLACE OR DEWATERING INTO A SUMP PIT OR FILTER BAG). SETTLED MATERIAL SHALL BE DISPOSED OF IN A STABILIZED LOCATION WHERE IT WILL NOT BE CARRIED OFF-SITE OR INTO A STORM SEWER BY RAINFALL. WATER WITH A VISIBLE SHEEN MUST BE REMOVED BY A VACUUM TRUCK. THERE SHALL BE NO TURBID OR MURKY DISCHARGES TO SURFACE WATERS RESULTING FROM DEWATERING ACTIVITIES. GROUNDWATER DEWATERING WHICH DOES NOT CONTAIN SEDIMENT OR OTHER POLLUTANTS DOES NOT REQUIRE TREATMENT PRIOR TO DISCHARGE, BUT CARE MUST BE TAKEN TO ENSURE IT DOES NOT BECOME POLLUTANT-LADEN BY TRAVERSING OVER DISTURBED SOILS OR OTHER POLLUTANT SOURCES OR ERODE THE DISCHARGE AREA.
- 5. IF UNFORESEEN ENVIRONMENTAL CONDITIONS ARE ENCOUNTERED, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE NECESSARY. IF THERE IS A CHANGE IN DESIGN, CONSTRUCTION OR OPERATION THAT COULD DISCHARGE POLLUTANTS TO SURFACE WATERS, THE REVISION TO THE SWPPP MUST BE COMPLETED AS SOON AS PRACTICAL AND PRIOR TO THE NEXT STORM EVENT. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY ALSO BE REQUESTED BY THE OWNER. LOCAL AUTHORITY. ENGINEER. SOIL AND WATER CONSERVATION DISTRICT, OR OHIO EPA AT ANYTIME. SUCH REQUEST SHALL BE IMPLEMENTED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- 6. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO CLEARING, GRUBBING, GRADING OR OTHER CONSTRUCTION ACTIVITY AND SHALL CONTINUE TO FUNCTION UNTIL UPLAND DISTURBED AREAS ARE STABILIZED. APPROPRIATE CONTROLS SHALL BE CONSTRUCTED OR EXISTING CONTROLS ALTERED TO ADDRESS CHANGING DRAINAGE PATTERNS AS CONSTRUCTION PROGRESSES OR TOPOGRAPHY IS ALTERED.
- 7. THE CONTRACTOR SHALL REMOVE ALL MUD, SOIL OR DEBRIS DEPOSITED ON ROADS, DRIVE LANES, ETC. AT THE END OF EACH WORK DAY OR AS REQUIRED DURING THE DAY.

# SPILL PREVENTION AND MATERIAL MANAGEMENT PRACTICES

- ALL MATERIALS STORED ON-SITE SHALL BE STORED IN AN ORDERLY MANNER IN APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- 2. PRODUCTS SHALL BE KEPT IN ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL UNLESS NOT RESEALABLE.
- 3. SUBSTANCES NOT TO BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- 4. WHENEVER POSSIBLE, USE ALL OF A PRODUCT BEFORE DISPOSING OF THE CONTAINER. FOLLOW LOCAL, STATE AND MANUFACTURERS' RECOMMENDED DISPOSAL METHODS IF SURPLUS PRODUCT IS TO BE DISPOSED OF.
- 5. THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON-SITE.
- 6. SAFETY DATA SHEETS (SDS) MUST BE RETAINED ON-SITE.
- 7. <u>SPILL CONTROL PRACTICES</u>:
  - MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP MUST BE POSTED AND SITE PERSONNEL MADE AWARE OF THE PROCEDURES, LOCATION OF THE INFORMATION AND LOCATION OF CLEANUP SUPPLIES.
  - SPILLS SHALL BE CLEANED IMMEDIATELY AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING.
- TOXIC OR HAZARDOUS MATERIAL SPILLS MUST BE REPORTED TO THE APPROPRIATE FEDERAL GOVERNMENT AGENCY, OHIO EPA (800-282-9378), FIRE DEPARTMENT (911) AND LOCAL EMERGENCY PLANNING COMMITTEE (LEPC) REGARDLESS OF SIZE AND WITHIN 30 MINUTES OF A SPILL
- SPILL PREVENTION PLANS SHALL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT A SPILL TYPE FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT AND THE CLEAN-UP MEASURES SHALL BE INCLUDED.

# PRODUCT SPECIFIC PRACTICES

SOLID, SANITARY AND TOXIC WASTE SHALL BE DISPOSED IN A PROPER MANNER IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. IT IS PROHIBITED TO BURN, BURY OR POUR ONTO THE GROUND OR INTO A SEWER SOLVENTS, PAINT, STAINS, DIESEL FUEL, GASOLINE, MOTOR OIL, HYDRAULIC FLUID, CEMENT CURING COMPOUNDS. ANTIFREEZE. OR OTHER TOXIC OR HAZARDOUS WASTE.

PETROLEUM PRODUCTS: ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS AND CLEARLY LABELED

FERTILIZERS: APPLY FERTILIZER ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED. FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. CONTENTS OF PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS: CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER, BUT SHALL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS: CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE. WASH OUT OF CONCRETE TRUCKS SHALL OCCUR IN A DESIGNATED AREA WHERE THE WASHING CAN COLLECT AND BE DISPOSED OF PROPERLY WHEN HARDENED.

WASTE MATERIALS: COLLECT WASTE MATERIALS INCLUDING TRASH AND CONSTRUCTION DEBRIS IN A SECURELY LIDDED DUMPSTER AND DISPOSE IN AN OHIO EPA APPROVED LANDFILL. MATERIALS WHICH CONTAIN ASBESTOS TO COMPLY WITH THE OHIO EPA AIR POLLUTION REGULATIONS. THE DUMPSTER IS TO BE HAULED OFF-SITE AND EMPTIED AS NECESSARY.

HAZARDOUS WASTE: DISPOSE OF HAZARDOUS WASTE MATERIALS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS OR AS SPECIFIED BY THE MANUFACTURER.

SANITARY WASTE: CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AT THE SITE AND IT SHALL BE SERVICED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS 1 TIME PER WEEK, OR MORE OFTEN IF NECESSARY.

OFF-SITE VEHICLE TRACKING: A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. ALL PAVED STREETS ADJACENT TO THE SITE SHALL BE SWEPT DAILY, OR MORE OFTEN IF NECESSARY, TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE SHALL BE COVERED WITH A TARPAULIN.

FUEL STORAGE TANKS: FUEL STORAGE TANKS SHALL BE LOCATED IN DIKED AREAS AND AWAY FROM DRAINAGE CHANNELS. THE DIKED AREAS SHOULD HOLD A VOLUME OF AT LEAST 110% OF THE LARGEST TANK. THE DIKED ARES ARE NOT NECESSARY IF THE CONTRACTOR USES SELF-CONTAINED SPILL PROOF TANKS.

# POLLUTION PREVENTION PLAN INVENTORY

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE ANTICIPATED TO BE PRESENT ON-SITE DURING CONSTRUCTION: <u>X</u> CONCRETE <u>X</u> FERTILIZERS <u>X</u> PAINTS (ENAMEL AND LATEX)

X ASPHALT X DETERGENTS X PETROLEUM BASED PRODUCTS X TAR \_\_\_\_ CMU BLOCK X\_\_ CLEANING SOLVENTS

# MAINTENANCE AND INSPECTION **PROCEDURES**

- 1. SILT FENCE SHALL BE INSPECTED FOR DEPTH OF SEDIMENT. TEARS, VERIFICATION FABRIC IS SECURELY ATTACHED TO FENCE POSTS, AND VERIFICATION FENCE POSTS ARE FIRMLY IN THE GROUND. BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED 1/3 THE FENCE HEIGHT.
- 2. DUST CONTROL: THE CONTRACTOR SHALL SUPPLY ALL LABOR. MATERIAL AND EQUIPMENT NECESSARY (I.E. MOTORIZED STREET SWEEPING DEVICE) TO MAINTAIN ROADWAYS USED FOR SITE ACCESS AT THE END OF EACH WORK DAY OR AS REQUIRED AND ADHERE TO ALL GOVERNING AUTHORITY ORDINANCES.
- 3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. ANY REPAIR NEEDED SHALL TO BE INITIATED WITHIN 24 HOURS OF THE REPORT.

- 1
- 2.
- 3.
- 4.

							_
. Th Ef RI S BI S	BILIZATION PRACTIC HE CONTRACTOR SHALL IMPLEMENT ROSION AND SEDIMENT CONTROL EMAIN DISTURBED FOR 14 DAYS ( TABILIZATION IS COMPLETE. PERM E GROUND COVER DENSE ENOUGH OIL SURFACE AND MATURE ENOUGH TEATHER CONDITIONS.	T AND MAINTAIN SOIL DEVICES IN AREAS TO OR UNTIL PERMANENT MANENT VEGETATION SHALL H TO COVER 80% OF THE					
SI IS PI RI	LL EXISTING STORM INLET BASINS HALL HAVE INLET PROTECTION INS INACTIVE DUE TO PRIOR WORK. ROTECTION FROM EXISTING STORM EMOVED OR ABANDONED UNTIL AF TORM STRUCTURE IS PLUGGED FR	TALLED UNLESS THE SEWER DO NOT REMOVE INLET I INLET BASINS TO BE TER THE DOWNSTREAM			engineers architects	anners	
FI Ol	EDIMENT PERIMETER CONTROLS SH IRST STEP OF GRADING AND WITHI F GRUBBING AND SHALL CONTINU PLAND AREAS ARE STABILIZED.	IN 7 DAYS FROM THE START		advisor	1 I	<u>a</u>	
W	EMPORARY STABILIZATION: DISTUR HERE CONSTRUCTION ACTIVITIES C AYS, BUT LESS THAN 1 YEAR, SH	EASE FOR MORE THAN 21		ur trusted		•	
	AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS				)	
	Disturbed areas within 50 feet of surface water, not at final grade, and to remain idle more than 21 days.	Within 2 days of the most recent disturbance.					
	Disturbed areas not within 50 feet of surface water, to be dormant more than 21 days, but less than 1 year.	Within 7 days of the most recent disturbance.	DATE				
	Disturbed areas that will remain idle over the winter.	Prior to the onset of winter weather.					
	For areas to be paved, disturbed areas that will remain dormant for the time constraints mentioned in the above criteria.	Temporarily stabilize with geotextile and/or stone subbase until pavement is installed.	REVISION				
W	ERMANENT STABILIZATION: DISTUR HERE CONSTRUCTION ACTIVITIES P OLLOW THIS CHART:		RE				
	AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS					
	Areas to be dormant for 1 year or more.	Within 7 days of the most recent disturbance.	N				
	Areas within 50 feet of surface water and at final grade.	Within 2 days of reaching final grade.	DRAFT	4/3/2020 \$ NOTED	SSA	BEK	Ċ
	All other areas at final grade.	Within 7 days of reaching final grade.	Ц	4/3 AS N			
			ISSUED FOR:	ISSUE DATE: SCALE:	DESIGNED BY:	DRAWN BY:	
A RI SI	QUENCE OF MAJOR C <b>IVITIES FOR SWPPP:</b> PRE-CONSTRUCTION MEETING TO EQUIREMENTS. UBMIT A CONSTRUCTION SCHEDUL ONSTRUCTION ACTIVITIES.	BE HELD TO DISCUSS THE	PARK DISTRICT	SHELTER	соинту, оню	PLAN	
ES	STABLISH THE STAGING AREA ANE OLLUTION CONTROLS.	D ALL NON-SEDIMENT	AN P/	SHEI	<b>NULLEN</b>	NTION	
IN	ISTALL SILT FENCE, INLET PROTEC NTRANCE PRIOR TO ANY EARTH D			RM DT &	4	POLLUTION PREVENTION	
	EGIN SITE DEMOLITION AND CONST		METROPOLIT			Ч NO	
BI	EGIN EARTHWORK GRADING OPERA	ATIONS.	ETR	LOWRY   PARKING		LUT	
C	ONSTRUCT UTILITIES.			LOV ARI			
BI	EGIN PAVING OPERATIONS.				₫	TER	
	ERMANENTLY SEED DISTURBED AR NAL GRADING.	EAS WITHIN 7 DAYS OF	APPLESEED	V SITE	VNSHIP	STORM WATER	
	ISTALL LANDSCAPING.		APF	NEV	TOW	STOF	
	ONTINUE INSPECTIONS AND MAINT TABILIZATION IS ACHIEVED.	ENANCE UNTIL FINAL	≻NZ	-	-AIZE		
	T COMPLETION OF ALL WORK, CO		NHOL		NGL		
•	DISPOSE OF ALL DEBRIS AND WAS SITE THAT RESULTED FROM CON		<del>ر</del>		ECT NO.		
•	CLEAN ALL ROADS AND LAWNS	OF DEBRIS AND DIRT.		190	)538		
			Sł	HEET		OF	
				10		12	

<b>51</b>	THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENT CONTROL REMAIN DISTURBED FOR 14 DAYS ( STABILIZATION IS COMPLETE. PERM BE GROUND COVER DENSE ENOUGH SOIL SURFACE AND MATURE ENOUGH WEATHER CONDITIONS.	T AND MAINTAIN SOIL DEVICES IN AREAS TO OR UNTIL PERMANENT MANENT VEGETATION SHALL H TO COVER 80% OF THE					
	ALL EXISTING STORM INLET BASINS SHALL HAVE INLET PROTECTION INS IS INACTIVE DUE TO PRIOR WORK. PROTECTION FROM EXISTING STORM REMOVED OR ABANDONED UNTIL AF STORM STRUCTURE IS PLUGGED FR	TALLED UNLESS THE SEWER DO NOT REMOVE INLET I INLET BASINS TO BE TER THE DOWNSTREAM			engineers architects	planners	
	SEDIMENT PERIMETER CONTROLS SH FIRST STEP OF GRADING AND WITHI OF GRUBBING AND SHALL CONTINU UPLAND AREAS ARE STABILIZED.	IN 7 DAYS FROM THE START		advisor	ants	đ.	
•	TEMPORARY STABILIZATION: DISTUR WHERE CONSTRUCTION ACTIVITIES C DAYS, BUT LESS THAN 1 YEAR, SH	EASE FOR MORE THAN 21		ur trusted	onsult		
	AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS				)	
	Disturbed areas within 50 feet of surface water, not at final grade, and to remain idle more than 21 days.	Within 2 days of the most recent disturbance.					
	Disturbed areas not within 50 feet of surface water, to be dormant more than 21 days, but less than 1 year.	Within 7 days of the most recent disturbance.	DATE				
	Disturbed areas that will remain idle over the winter.	Prior to the onset of winter weather.					
	For areas to be paved, disturbed areas that will remain dormant for the time constraints mentioned in the above criteria.	Temporarily stabilize with geotextile and/or stone subbase until pavement is installed.	REVISION				
•	PERMANENT STABILIZATION: DISTUR WHERE CONSTRUCTION ACTIVITIES P FOLLOW THIS CHART:		RE				
	AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS					
	Areas to be dormant for 1 year or more.	Within 7 days of the most recent disturbance.	ON N				
	Areas within 50 feet of surface water and at final grade.	Within 2 days of reaching final grade.	DRAFT	4/3/2020 \$ NOTED	SSA	BEK	000
	All other areas at final grade.	Within 7 days of reaching final grade.		A ASI			
			SSUED FOR:	ISSUE DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:
	EQUENCE OF MAJOR C CTIVITIES FOR SWPPP: A PRE-CONSTRUCTION MEETING TO REQUIREMENTS. SUBMIT A CONSTRUCTION SCHEDUL CONSTRUCTION ACTIVITIES.	BE HELD TO DISCUSS THE	ARK DISTRICT	SHELTER		N PLAN	
	ESTABLISH THE STAGING AREA AND POLLUTION CONTROLS.	D ALL NON-SEDIMENT	AN P		ALLE	VENTION	
	INSTALL SILT FENCE, INLET PROTEC ENTRANCE PRIOR TO ANY EARTH D	CTION AND CONSTRUCTION DISTURBANCE ACTIVITY.	METROPOLIT	ARM OT &		PREV	
	BEGIN SITE DEMOLITION AND CONST	TRUCTION.	ROP	Y FA		POLLUTION PRE	
	BEGIN EARTHWORK GRADING OPERA	ATIONS.	ΛET	LOWRY F PARKING			
	CONSTRUCT UTILITIES. BEGIN PAVING OPERATIONS.		Δ	PAF			0
	PERMANENTLY SEED DISTURBED AR FINAL GRADING.	EAS WITHIN 7 DAYS OF	APPLESEE	SITE	WNSHIP	STORM WATER	
).	INSTALL LANDSCAPING.		РРГ	NEV	NWO.	ORM	
•	CONTINUE INSPECTIONS AND MAINT STABILIZATION IS ACHIEVED.	ENANCE UNTIL FINAL	NY A∣	N	AIZE T	ST	
2.	AT COMPLETION OF ALL WORK, CON	NTRACTOR IS TO:	INHOL		GL		
	DISPOSE OF ALL DEBRIS AND WAS SITE THAT RESULTED FROM CON		or		<b>D</b> ECT NO		
	CLEAN ALL ROADS AND LAWNS				ест NO. <b>)538</b>		
			Sł	IEET		OF	
			•	10		12	

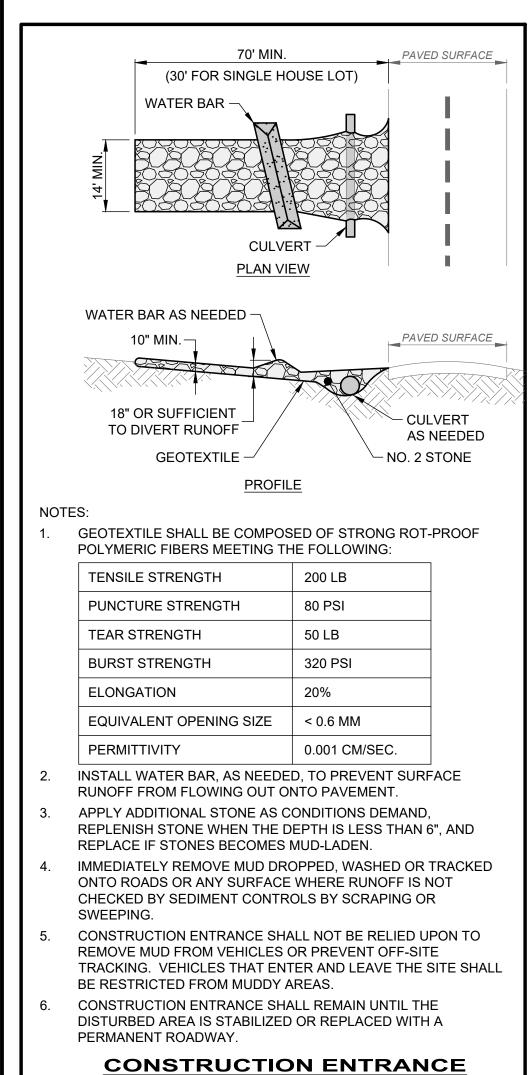
# S <u>AC</u>

- 2.
- 3.
- 4.
- 5.
- 7.
- 8.
- 9.
- 10.
- 11.
- 12.

# CONCRETE WASHOUT PIT(CW)

NOTES:

- MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED.
- WASH WATER SHALL NOT FLOW TO SURFACE 2.
- WATERS.
- WASHOUT PIT SHALL BE LOCATED 100' MINIMUM FROM INLETS, STREAMS, WETLANDS AND ANY OTHER SURFACE WATERS.
- WASHOUT PIT SHALL HAVE SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
- WASHOUT PIT SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
- 6. SAW CUT CONCRETE, RESIDUE FROM SAW CUT, AND GRINDINGS SHALL BE DISPOSED OF IN THE WASHOUT PIT.
- A GENERAL LOCATION FOR THE CONCRETE WASHOUT PIT IS SHOWN IN THE SWPPP, BUT MAY BE MOVED TO BETTER SUIT THE CONTRACTOR'S MEANS ANDD METHODS.



SCALE: NONE

H:\2019\190538\DWG\SHEETS\G\_190538 - SWPPP NOTES & DETAILS.DWG - 26 SWPPP DETAILS 1 - 4/7/2020 11:49:08 AM - SAMER AWADALLAH

# PERMANENT SEEDING (PS)

- SPECIFICATIONS FOR PERMANENT SEEDING SITE PREPARATION: 1. A SUBSOILER, PLOW OR OTHER IMPLEMENT TO BE USED TO REDUCE SOIL COMPACTION AND ALLOW MAXIMUM INFILTRATION. SUBSOILING TO BE DONE WHEN SOIL MOISTURE IS LOW ENOUGH TO ALLOW THE SOIL TO CRACK OR FRACTURE. SUBSOILING IS NOT TO BE DONE ON SLIP-PRONE AREAS.
- 2. GRADE THE SITE AS NEEDED TO PERMIT USE OF CONVENTIONAL
- EQUIPMENT FOR SEEDBED PREPARATION AND SEEDING. 3. APPLY RESOIL WHERE NEEDED TO ESTABLISH VEGETATION.

# SEEDBED PREPARATION:

ALL CONCRETE

TRUCKS MUST

WASHOUT HERE

WASHOUT

<u>SIGN</u>

- 1. APPLY AGRICULTURAL GROUND LIMESTONE TO ACIDIC SOIL AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST, APPLY AT RATE OF 100 LB/1,000 S.F. OR 2 TONS/AC.
- 2. APPLY FERTILIZER AS RECOMMENDED BY A SOIL TEST. IN LIEU OF A SOIL TEST. APPLY AT A RATE OF 12 LB/1.000 S.F. OR 500 LB/AC. OF 10-10-10 OR 12-12-12 ANALYSIS.
- 3. LIME AND FERTILIZER TO BE WORKED INTO THE SOIL WITH A DISK HARROW, SPRING-TOOTH HARROW, OR OTHER SUITABLE FIELD IMPLEMENT TO A DEPTH OF 3".

# SEEDING DATES AND SOIL CONDITIONS:

1. SEED MARCH 1 TO MAY 31 OR AUGUST 1 TO SEPTEMBER 30. THESE ARE IDEAL SEEDING DATES, BUT SEEDING MAY BE MADE ANY TIME THROUGHOUT THE GROWING SEASON WITH THE USE OF ADDITIONAL MULCH AND IRRIGATION. TILLAGE/SEED BED PREPARATION TO BE DONE WHEN THE SOIL IS DRY ENOUGH TO CRUMBLE AND NOT FORM RIBBONS WHEN COMPRESSED BY HAND. SEE THE FOLLOWING SECTION ON DORMANT SEEDING FOR WINTER SEEDING.

DORMANT SEEDINGS

- 1. DO NOT PLANT SEEDINGS FROM OCTOBER 1 TO NOVEMBER 20. SEEDS ARE LIKELY TO GERMINATE DURING THIS PERIOD, BUT PROBABLY WILL NOT SURVIVE THE WINTER. 2. THE FOLLOWING METHODS MAY BE USED:
- FROM OCTOBER 1 TO NOVEMBER 20, PREPARE THE SEED BED, ADD THE REQUIRED AMOUNTS OF LIME AND FERTILIZER, THEN MULCH AND ANCHOR. AFTER NOVEMBER 20 AND BEFORE MARCH 15, INCREASE THE SEEDING RATES BY 50% AND BROADCAST THE SEED MIXTURE.
- FROM NOVEMBER 20 THROUGH MARCH 15, WHEN SOIL CONDITIONS PERMIT, PREPARE THE SEED BED, LIME AND FERTILIZER, APPLY THE SEED MIXTURE, MULCH AND ANCHOR. INCREASE THE SEEDING RATES BY 50% FOR THIS TYPE OF SEEDING.
- APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDED (SLURRY MAY INCLUDE SEED AND FERTILIZER) ON FIRM, MOIST SEED BED.
- WHERE FEASIBLE, EXCEPT WHEN A CULTIPACKER TYPE SEEDER IS USED, THE SEED BED IS TO BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A CULTIPACKER, ROLLER, OR LIGHT DRAG.

**MULCHING:** 

- 1. APPLY MULCH MATERIAL IMMEDIATELY AFTER SEEDING. SEEDING MADE DURING OPTIMUM SEEDING DATES ON FLAT AREAS WITH FAVORABLE SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE STABILIZATION. DORMANT SEEDING IS TO BE MULCHED.
- 2. SEE MULCHING FOR MATERIALS AND ANCHORING METHODS.
- IRRIGATION: 1. PERMANENT SEEDING TO INCLUDE IRRIGATION TO ESTABLISH VEGETATION DURING DRY OR HOT WEATHER OR ON ADVERSE SITE CONDITIONS AS NEEDED FOR ADEQUATE MOISTURE FOR
- SEED GERMINATION AND PLANT GROWTH. 2. EXCESSIVE IRRIGATION RATES TO BE AVOIDED AND IRRIGATION MONITORED TO PREVENT EROSION AND DAMAGE FROM RUNOFF.
- SPECIFICATIONS FOR MAINTENANCE OF PERMANENT SEEDING: 1. PERMANENT SEEDING TO NOT BE CONSIDERED ESTABLISHED FOR
- AT LEAST 1 FULL YEAR FROM THE TIME OF PLANTING. SEEDED AREAS TO BE INSPECTED FOR FAILURE AND VEGETATION REESTABLISHED AS NEEDED. DEPENDING ON SITE CONDITIONS, IT MAY BE NECESSARY TO IRRIGATE, FERTILIZE, OVERSEED, OR REESTABLISH PLANTINGS IN ORDER TO PROVIDE PERMANENT
- VEGETATION FOR ADEQUATE EROSION CONTROL. 2. ESTABLISH MAINTENANCE FERTILIZATION RATES BY SOIL TEST RECOMMENDATIONS OR BY USING THE FOLLOWING RATES:

	SEE	DING RATE				
SEED MIX	LB./AC.	LB./1,000 S.F.	NOTES:			
	GENE	RAL USE				
Creeping Red Fescue Domestic Ryegrass Kentucky Bluegrass	20-40 10-20 10-20	1/4 TO 1/2				
Tall Fescue	40	1				
Dwarf Fescue	40	1				
STEEF	P BANKS	OR CUT SLOP	ES			
Tall Fescue	40	1				
Crown Vetch Tall Fescue	10 20	1/4 1/2	Do not seed later than August			
Flat Pea Tall Fescue	20 20	1/2 1/2	Do not seed later than August			
ROA	ROAD DITCHES AND SWALES					
Tall Fescue	40	1				
Dwarf Fescue Kentucky Bluegrass	90 5	2-1/4	Do not seed later than August			

# **PERMANENT SEEDING (continued)**

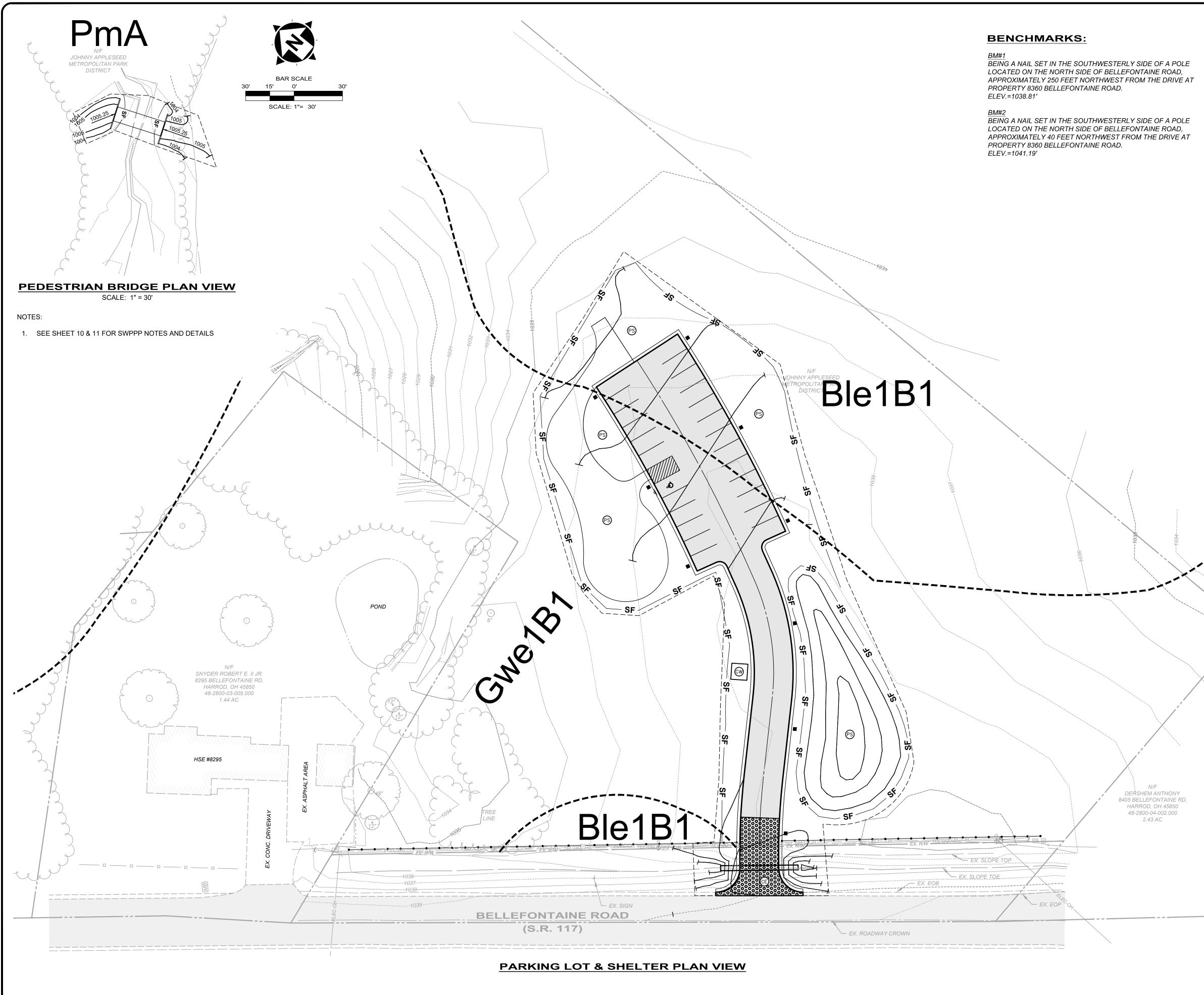
	LAW	N		
Kentucky Bluegrass Perennial Ryegrass	60 60	1-1/2 1-1/2		
Kentucky Bluegrass Creeping Red Fescue	60 60	1-1/2 1-1/2		d areas
Note: Other approved	seed specie	es may	be substituted.	
	ICE FOR PE		NT SEEDINGS DWING	
MIXTURE	FORMULA	LB./ AC.	ТІМЕ	MOWING
Creeping Red Fescue Domestic Ryegrass Kentucky Bluegrass	10-10-10	500		<u>&gt;</u> 3"
Tall Fescue	10-10-10	500	Fall, yearly or as needed	<u>≥</u> 4"
Dwarf Fescue	10-10-10	500		<u>&gt;</u> 2"
Crown Vetch Fescue	0-20-20	400	Spring, yearly following establishment,	Do not mow
			then every	

# TEMPORARY SEEDING(TS)

- 1. TEMPORARY SEED TO BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 21 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEEDED AS SOON AS POSSIBLE AFTER GRADING OR BE SEEDED WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
- 2. THE SEED BED IS TO BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. 3. SOIL AMENDMENTS MAY BE REQUIRED TO ESTABLISH ADEQUATE
- STANDS OF VEGETATION. PERFORM SOIL TESTS ON THE SITE TO PREDICT THE NEED FOR LIME AND FERTILIZER. 4. APPLY SEED UNIFORMLY WITH CYCLONE SEEDER, CULTIPACKER
- SEEDER OR HYDROSEEDER. COVER BROADCASTED SEED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPING INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, MIX THE SEED AND FERTILIZER ON SITE AND IMMEDIATELY USE.
- MULCHING TEMPORARY SEEDING 1. APPLY MULCH MATERIAL IMMEDIATELY AFTER SEEDING. SEEDING MADE DURING OPTIMUM SEEDING DATES ON FLAT AREAS WITH FAVORABLE SOIL CONDITIONS MAY NOT NEED MULCH TO ACHIEVE STABILIZATION. DORMANT SEEDING IS TO BE MULCHED.
- 2. SEE MULCHING FOR MATERIALS AND ANCHORING METHODS.

TEMPORARY SEEDING SPECIES SELECTION					
SEEDING DATES	SPECIES	LB/1,000 S.F.	PER AC.		
March 1 to August 15	Oats Tall Fescue Perennial Ryegrass	3 1 1	4 bushe 40 lb. 40 lb.		
	Perennial Ryegrass Tall Fescue	2 1	40 lb. 40 lb.		
August 16 to November 1	Rye Tall Fescue Perennial Ryegrass	3 1 1	2 bushe 40 lb. 40 lb.		
	Wheat Tall Fescue Perennial Ryegrass	3 1 1	2 bushe 40 lb. 40 lb.		
	Perennial Ryegrass Tall Fescue	2 1	40 lb. 40 lb.		
November 1 to Spring Seeding	Use mulch only, sodd seeding.	ing practices or	dormant		

		JOHNNY APPLESEED METROPOLITAN PARK DISTRICT	ISSUED FOR:	DRAFT NO	0	REVISION	DATE	
SHEET <b>11</b>		I OWRY FARM	ISSUE DATE:	4/3/2020				
		& SHELTER	SCALE:	AS NOTED				your trusted advisor
	۹ <sup>CT NO.</sup> 538	AUGLAIZE TOWNSHIP ALLEN COUNTY, OHIO	DESIGNED BY:	SSA				consultants engineers architects
OF 12		STORM WATER POLLUTION PREVENTION PLAN	DRAWN BY:	BEK				planners
		SWPPP DETAILS	CHECKED BY:	SSA				



C:\CT\CAD\\_DRIVES\\_H\2019\190538\DWG\SHEETS\G\_190538 - SWPPP PLAN.DWG - 6 GRADING PLAN - 4/14/2020 10:41:47 AM - SAMER AWADALLAH

SWP3 LEGEND				
1038	1' CONTOUR ELEVATION			
1040	5' CONTOUR ELEVATION			
1038	EX. CONTOUR			
NO CE	CONSTRUCTION ENTRANCE			
CW	CONCRETE WASHOUT PIT			
PS	PERMANENT SEEDING			
SF	SILT FENCE			
	CONSTRUCTION LIMIT			
PmA	SOIL TYPE			

JOHNNY APF				STOR	
JOHNNY APPLESEED METROPOLITAN PARK DISTRICT	I OWRY FARM	NEW SITE PARKING LOT & SHELTER	ALLEN COUNTY, OHIO	STORM WATER POLLUTION PREVENTION PLAN	SWPPP PLAN
ISSUED FOR:	ISSUE DATE:	SCALE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:
DRAFT	4/3/2020	AS NOTED	SSA		/SSA
ON					
REVISION					
DATE					
		your trusted advisor	consultants engineers architects	planners	•



SHEET 12

12



SCALE: 1"=